

2015-0447

**INTRODUCED BY: V.J. ST. PIERRE, JR., PARISH PRESIDENT
(DEPARTMENT OF PLANNING & ZONING)**

ORDINANCE NO. _____

An ordinance to amend the St. Charles Parish Code of Ordinances, Appendix A., Section VI, Zoning District Criteria and Regulations, by adding Section K., Paul Maillard Road Overlay Zone.

WHEREAS, the Paul Maillard Road corridor is a 2.5 mile road with a rich history, that has suffered decline and disinvestment; and,

WHEREAS, land use zoning along the corridor has not encouraged reinvestment; and,

WHEREAS, the Future Land Use Map for St. Charles Parish adopted June 2011 recommends a new land use concept for Paul Maillard Road as a "mixed use corridor" Activity Center; and,

WHEREAS, the Paul Maillard Road Revitalization Plan, adopted December 1, 2014, recommends that the Parish adopt a means to improve the quality and design of development (land use action step 2.1); and,

WHEREAS, community leaders requested that zoning on the corridor be "open" so that the distinctions between the commercial zoning districts CR-1, C-1, C-2, and C-3 be minimized in order to encourage redevelopment; and,

WHEREAS, the Planning and Zoning Department has developed guidelines that implement the Parish's adopted redevelopment plans; and,

WHEREAS, the St. Charles Parish Planning and Zoning Commission voted unanimously to recommend approval of the overlay zone at their meeting of November 5, 2015.

THE ST. CHARLES PARISH COUNCIL HEREBY ORDAINS:

SECTION I. St. Charles Parish Code of Ordinances, Section VI, Zoning District Criteria and Regulations, by adding Section K., Paul Maillard Road Overlay Zone

Paul Maillard Revitalization Overlay District Code

1. General

1.1. Purpose

The purpose of the overlay district is to facilitate the development of a sustainable and resilient mixed use corridor that will function as the main street and center of Luling and Boutte, and provide a healthy structural and economic backbone for the surrounding community. The regulations provide a mechanism for the Parish to ensure sound and orderly development and redevelopment, and are intended to improve the surrounding community, spur economic development, reduce blight and underutilization, increase property values, and improve walkability and bikeability.

1.2. District Limits

The Paul Maillard Revitalization Overlay District (PMROD) includes all lots abutting Paul Maillard Road between River Road and State Route 631, as shown on [Figure 1.1](#).

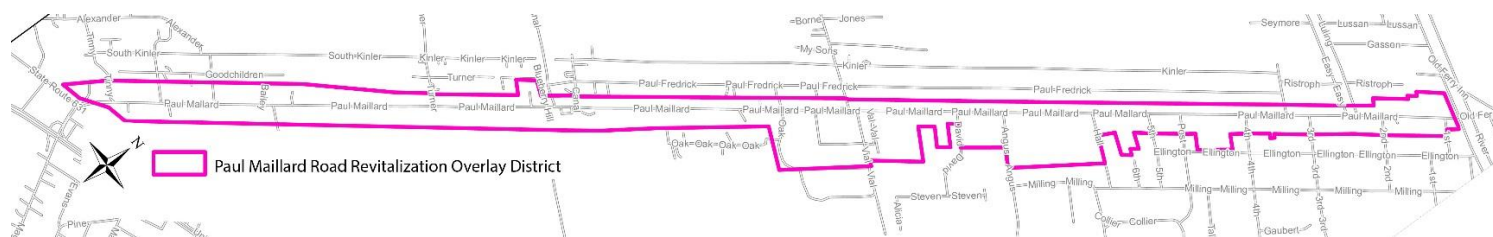


Figure 1.1: PMROD Boundaries

1.3. Zones

1.3.1. Purpose

A. The purpose of Zone A is to provide locations for neighborhood scale mixed use development. The regulations support the establishment of residential development as well as both small and medium scale local businesses, and call for a physical environment that encourages walking and biking and invites visitors to linger.

B. The purpose of Zone B is to provide locations for a vibrant and sustainable town center for Luling and the surrounding area. Mixed use development, including a wide range of commercial and residential development types and scales, will attract businesses, residents, employees, and visitors. The physical environment would be designed to accommodate the needs of all users of this area, including vehicular travelers, pedestrians, and bicyclists.

1.3.2. Zone Limits

- A. Zone A includes all lots abutting Paul Maillard Road between River Road and 4th Street.
- B. Zone B includes all lots abutting Paul Maillard Road between 4th Street and State Route 631, as shown in [Figure 1.2](#)

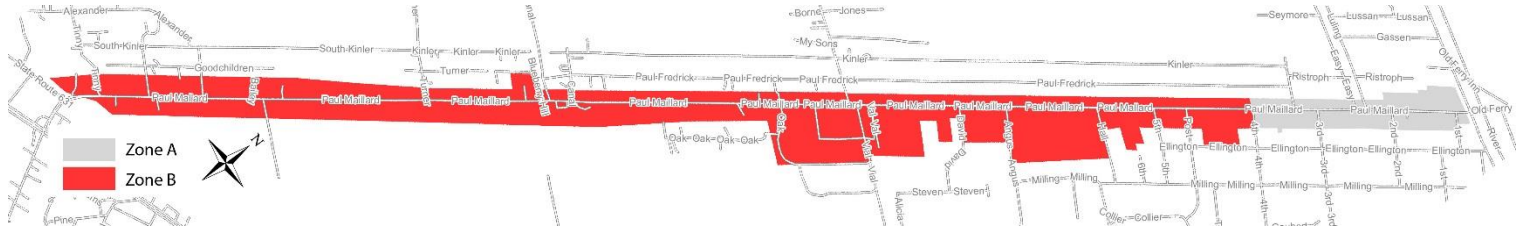


Figure 1.2: PMROD Zone Boundaries

1.4. Applicability

1.4.1 Overlay District Development standards shall apply when any of the following occurs:

- A. A new principal building is constructed.
- B. A new building, building addition, or accessory building, is constructed on an existing site that expands the gross floor area of the site by thirty percent (30%) or more.
- C. A Change of Use from a residential use to a non-residential use is requested.

1.4.2 Exemptions

- A. The Paul Maillard Overlay District shall not apply to one-family and two-family residential uses.
 - i. This exemption shall not be interpreted to permit mobile homes, trailers, or RVs in the District
- B. Structures in one-family and two-family residential use within commercial zoning districts are not required to comply with District regulations.
- C. One-family and two-family residential structures are allowed, but not required, to comply with setbacks and building design standards set forth in Sections 3.2 and 3.3.

1.4.3 Waivers and Exemptions

Should the Director discover that specific aspects of the submitted site plan fail to conform to the regulations of the District, he may choose to forward the proposal for formal consideration by the Planning Commission if the literal enforcement of one or more provisions of the District (i) is impossible, or (ii) will exact undue hardship because of peculiar conditions pertaining to the land or building in question. Financial hardships shall not be considered as the only criteria for any such waiver or modification of existing regulations. Any site plan which contains a request for a waiver or modification of any District regulation shall contain a specific reference to the request and state the reasons that the request be granted. The Planning Commission may grant a waiver or modification of these regulations only when such requests meet the conditions of this subsection (i, ii) and are not detrimental to the public interest.

1.5. Conflicts

Where this overlay zone conflicts with or exceeds requirements of the Zoning Ordinance of 1981, the overlay zone supersedes.

2. Use Regulations

2.1. Permitted Uses

- A. All uses permitted by right in the underlying zoning district, except uses prohibited under [Section 2.2. Prohibited Uses](#), are permitted.
- B. All commercial uses and residential uses, whether or not permitted in the underlying zoning district, except uses prohibited under [Section 2.2. Prohibited Uses](#), are permitted.

2.2. Prohibited Uses

The following uses are prohibited within the entire overlay district.

- A. Mobile homes and trailers
- B. Outdoor storage as primary use

3. Development Standards

3.1. General

3.1.1. Development Plan and Design Review

Development projects must follow the St. Charles Parish plan review process.

3.1.2. Development Goals

The PMROD is intended to direct development in the district to meet the following goals:

- A. Development shall promote safe, convenient, and attractive pedestrian and bicycle access.
- B. Development shall ensure compatibility between commercial uses and surrounding residential areas.
- C. Design shall be compatible in scale, materials, street level uses, and spatial relationships with existing development.
- D. Compact neighborhood centers shall be created at major intersections to the extent possible in order to support transit, facilitate walkability and improve economic sustainability of neighborhood businesses.
- E. Street façades shall include variations in setbacks, fenestration, textures, colors, and/or materials resulting in no blank walls along the street.
- F. All sides and areas of structures visible to the public shall be treated with materials, finishes, and architectural details appropriate to primary street-facing façades.

Table 3.1: Building Standards

BUILDING STANDARDS		
ZONE	Zone A	Zone B
Building Coverage (max)	65%	75%
Building Footprint (max)	7,500 SF	n/a
Setback front (min)	5'	10'
Build-To Line front	25'	45'
Setback side, street (min)	10'	10'
Setback side, interior (min)	no setback required abutting lots in commercial uses; 5' abutting lots in residential use	no setback required abutting lots in commercial uses; 5' abutting lots in residential use
Setback Rear	no setback required abutting lots in non-residential uses; 5' abutting lots in residential use	no setback required abutting lots in non-residential uses; 10' abutting lots in residential use
Stories (max)	Mixed-Use: 3; Other uses: 2;	Mixed-Use: 4; Other uses: 2;
Height (max)	Mixed-Use: 48' Other uses: 35'	Mixed-Use: 60' Other uses: 35'

Figure 3.1: Building Coverage

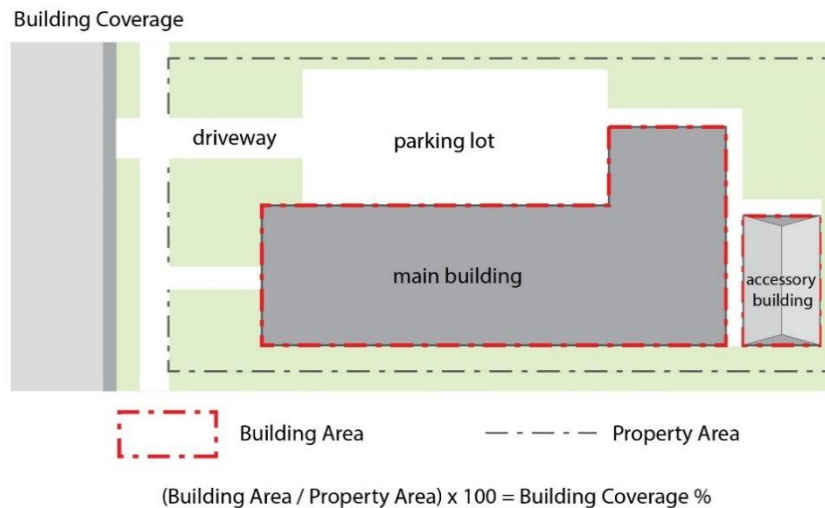


Figure 3.2: Zone A Structure Height

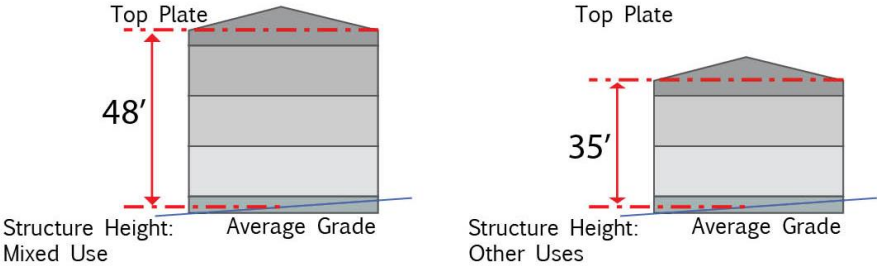


Figure 3.3: Zone A Setbacks

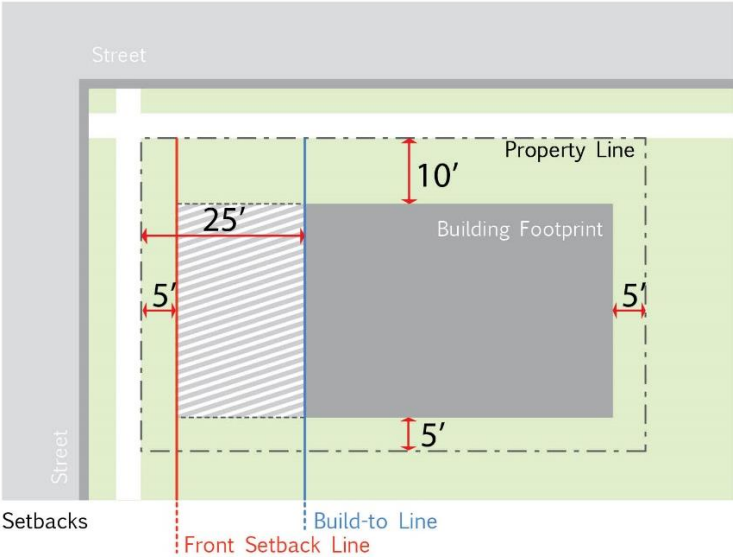


Figure 3.4: Zone B Structure Height

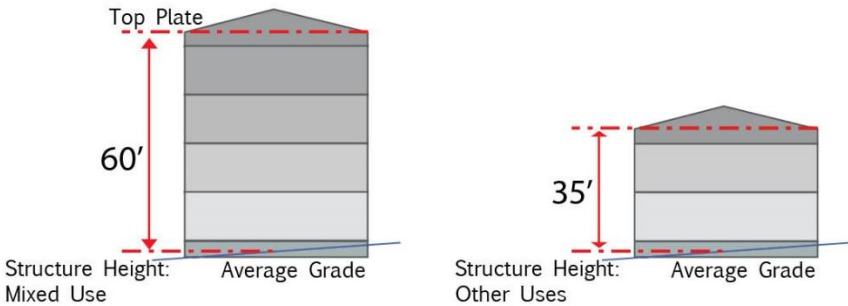
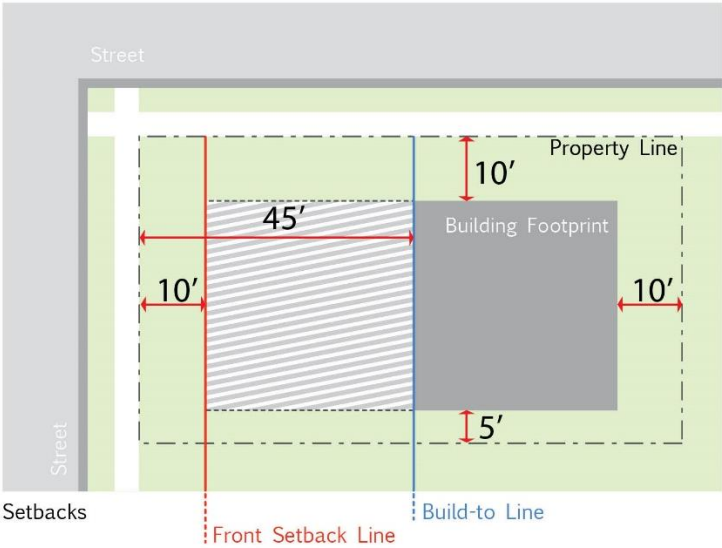


Figure 3.5: Zone B Setbacks



3.2. Dimensional Standards

3.2.1. Lot Size

Lot sizes as specified in the underlying zoning district regulations apply.

3.2.2. Setbacks

A. All setback requirements are measured from the edge of the corresponding property line.

B. The following permanent elements are allowed and encouraged to extend into any required setback.

- i. Outdoor dining, benches, trash receptacles, public art, water features, bicycle racks, bollards, planters and other street furniture, pedestrian lighting, landscaping, sidewalk, trees, tree grates and planters may encroach into any required setback.
- ii. Building elements such as porches, stoops, balconies, awnings, galleries, bay windows, unenclosed fire escapes, stairways, patios, decks, and terraces may extend into a required setback if in compliance with the regulations set forth in **Section 3.3: Building Design Standards**
- iii. Chimneys, flues or smokestacks, building eaves or roof overhangs, cornices, belt courses, sills, buttresses, or other similar architectural features may encroach a maximum of two (2) feet.
- iv. Minor structures accessory to utility lines (such as hydrants, manholes, and transformers and other cabinet structures), mechanical equipment associated with residential uses, such as HVAC units and security lighting and solar and wind energy systems may extend into any required setback.

3.2.3. Build-To Line

A. The build-to line is the line measured from the property line up to which most of the building façade must meet. The primary street and side street build-to lines are measured as a maximum setback from the edge of the property line. Building facades can be closer to the street than the build-to-line indicates, but must follow setback requirements.

B. On corner lots, a building facade must be placed at the build-to line or between the build-to line and setback for at least the first thirty (30) feet along the street(s) extending from the block corner.

3.2.4. Structure Height

A. Structure height is measured in both number of stories and feet from the average grade to the top plate.

B. Average grade is determined by calculating the average of the highest and lowest elevation along natural or improved grade (whichever is more restrictive) along the front of the building parallel to the setback line. (See [Fig. 3.2: Zone A Structure Height](#) and [Fig. 3.4: Zone B Structure Height](#))

3.2.5. Building Standards Table

Development shall comply with dimensional standards listed in the Building Standards Table 3.1.

3.3. Building Design Standards

3.3.1. Building Elements

A. Buildings should be designed with porches, stoops, balconies, galleries, awnings, canopies, and other weather protection devices, all of which are allowed and encouraged.

B. Stoops, not including steps, may extend a minimum of three (3) feet from the building and are a maximum of six (6) feet wide. (See [Figure 3.5: Stoops](#))

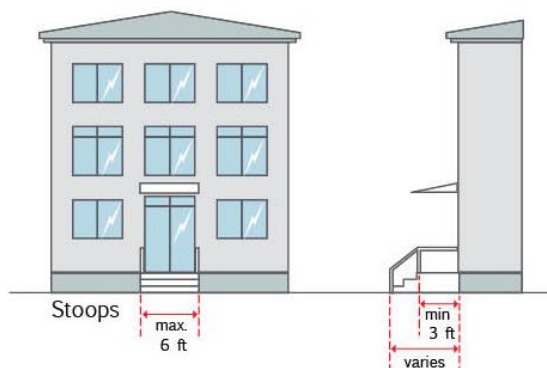


Figure 3.5: Stoops

C. Porches, not including steps, must provide a clear depth of at least six (6) feet from the building's façade, and extend across a minimum of fifty (50) percent of the width of the building facade. [\(See Figure 3.6: Porches\)](#)

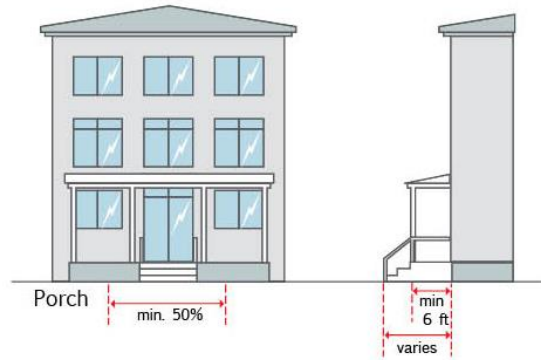


Figure 3.6: Porches

D. Awnings, light shelves, galleries, balconies, and arcades may extend a maximum six (6) feet from the building front with a ten (10) foot minimum height. [\(See Figure 3.7: Awnings\)](#)

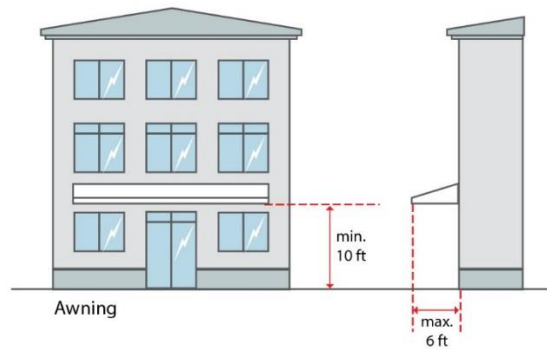


Figure 3.7: Awnings

E. Galleries must provide a clear depth from the support columns to the building's façade of at least eight (8) feet and a clear height above the sidewalk of at least ten (10) feet and must extend across at least fifty (50) percent of the width of the building facade. [\(See Figure 3.9: Galleries\)](#)

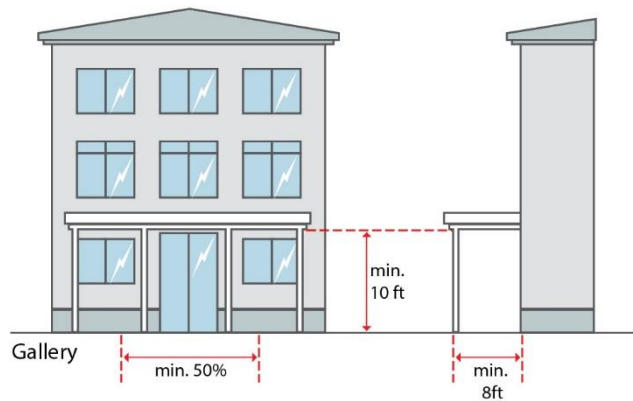


Figure 3.9: Galleries

F. Double galleries must provide a clear depth from the support columns to the building's façade of at least eight (8) feet and a clear height above the sidewalk of at least ten (10) feet and must extend across at least fifty (50) percent of the width of the building facade. [\(See Figure 3.10: Double Galleries\)](#)

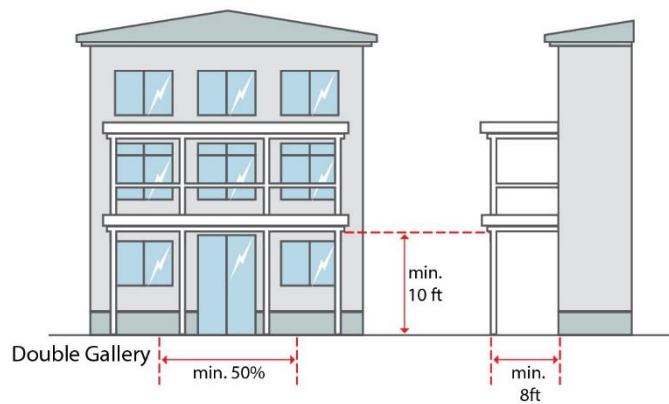


Figure 3.10: Double Galleries

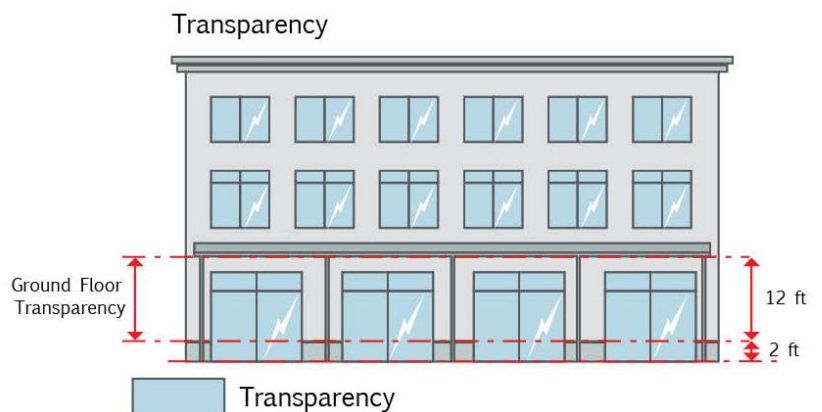
G. All building elements must remain within the property line, unless special permission is granted by the Planning and Zoning Director for awnings, light shelves, arcades, galleries, and double galleries to encroach upon the public right-of-way.

3.3.2. Entrance

- A. Pedestrian and main entrances shall be located on Paul Maillard Road. Additional entrances off another street, pedestrian area or internal parking area are allowed.
- B. An angled entrance may be provided at either corner of a building along the street to meet the street entrance requirements, provided any applicable entrance spacing requirements are met.
- C. A minimum of fifty (50) percent of the main entrance must be transparent.
- D. A required fire exit door with no transparency may front on a primary, side, or service street.
- E. Adjacent commercial properties are encourage to share driveway(s) to minimize curb cuts on Paul Maillard.

3.3.3. Façade

- A. The facade along the ground floor fronting Paul Maillard Road at an average of at least every thirty-five (35) feet shall change visually in height, setback, materials, or colors along the axis facing the street.
- B. A minimum of fifty (50) percent of ground floor level of the building façades facing the street shall be comprised of doors or transparent windows that allow views into the ground floor. Non-reflective opaque glass and darkly tinted glass are prohibited, except for development zoned M1 in the St. Charles Parish Zoning Ordinance of 1981. Ground floor transparency (windows and doors) is measured between two (2) and twelve (12) feet above the adjacent sidewalk. *(See Figure 3.4: Transparency)*
- C. The Planning and Zoning Director may adjust requirements for openings for buildings elevated to meet or exceed base flood elevation (BFE) by the minimum amount needed to accommodate BFE.



$$(\text{Transparency Area} / \text{Total Façade Area} /) \times 100 = \text{Transparency \%}$$

Figure 3.4: Transparency

3.3.4. Façade Materials

- A. Each building façade visible from the street, excluding window and door area, shall be clad in one or a combination of the following materials.
 - i. Brick
 - ii. Stone
 - iii. Stucco
 - iv. Textured masonry
 - v. Wood

- vi. Architectural pre-cast concrete
- vii. Other materials upon approval of Planning and Zoning Director
- B. The following building materials are prohibited for building facades:
 - i. Plain concrete block
 - ii. Exposed aggregate (rough finish) concrete wall panels
 - iii. Corrugated metal and metal with exposed fasteners
 - iv. Vinyl
 - v. Plastic
- C. This requirement shall apply to each façade on a building as illustrated in [Figure 3.11](#).

Facade

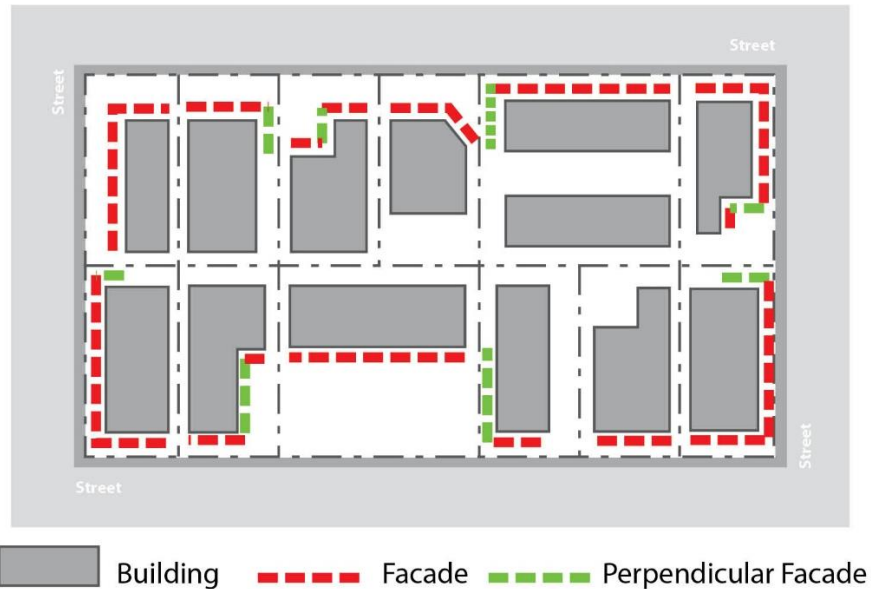


Figure 3.11: Façades

4. Parking and Loading

4.1. Off-Street Parking requirements

4.1.1. Minimum Parking Requirements

The minimum number of off-street parking spaces for any building or use within the overlay district may be reduced to eighty (80) percent of the minimum parking requirements, as specified in the St. Charles Parish Zoning Ordinance, not including accessible spaces.

4.1.2. Maximum Number of Parking Spaces Allowed

The maximum number of off-street parking spaces for any building or use shall not exceed the minimum parking requirements, as specified in the St. Charles Parish Zoning Ordinance.

4.1.3. Parking Credits

A. In all areas, on-street parking spaces on the right of way adjacent to the building and between the two side lot lines of the site may be counted to satisfy the minimum off-street parking requirements.

B. Where parking is available off-site within five hundred (500) feet of the front entry to the building, and that parking is owned or controlled under a permanent and recorded parking encumbrance agreement for use by the occupants or employees on the site, said parking may be counted to satisfy the off-street parking requirements.

4.1.4. Shared parking

A special exemption to parking requirements may be granted by the Planning and Zoning Director to satisfy minimum parking requirements under the following conditions.

A. A document shall demonstrate that the demand for parking of the combined uses of two (2) or more buildings can be satisfied with a shared and jointly accessible off-street parking site available to those buildings.

B. The shared parking site is located within five hundred (500) feet of the front entry to all buildings sharing the parking site.

C. A written agreement between the owners and lessees is executed for a minimum of twenty (20) years, approved by the parish attorney as provided herein. The agreement shall be recorded and a copy maintained in the project file. Should the lease expire or otherwise terminate, any and all approvals shall be subject to

revocation. Continuation or expansion of the use shall be prohibited unless the use is brought into compliance with the parking regulations of this section.

D. Documents described in 4.1.4. A, B, and C above shall be submitted to the Planning Department for review and consideration by the Planning and Zoning Director.

4.1.5. Accessible parking

Accessible parking shall be provided in compliance with the latest version of the Americans with Disabilities Act Accessibility Guidelines, as determined by the State Fire Marshal.

4.1.6. Bicycle Parking

A. One (2) bicycle parking space shall be provided per three thousand (3000) square feet of commercial space.

B. One (2) bicycle parking space shall be provided per 10 parking spaces required for multi-family residential development.

4.1.7. Residential parking

In mixed-use buildings at least eighty (80) percent of required parking for residential units shall be reserved by signage for residents and located on the same development site as the mixed use building or on an abutting lot in accordance with the shared parking provisions of Section 4.1.4. Shared Parking.

4.2. Location of Parking

4.2.1. The location of parking shall comply with the table Location of Parking below.

4.2.2. Any requests for parking in addition to what is described in table 4.1 shall be located only in the rear of the property.

LOCATION OF PARKING		
	Zone A	Zone B
Front of Building	Not allowed	Maximum 1 row, 8 spaces
Side of Building	Maximum 1 row	Maximum 2 rows
Rear of Building	Allowed up to 100% of underlying zoning	Allowed up to 100% of underlying zoning

Table 4.1: Location of Parking

4.3. Parking Lot Design Standards

4.3.1. Parking Space Layout

A. Parking space layout shall meet the dimensions showed in [Figure 4.1 and 4.2](#).

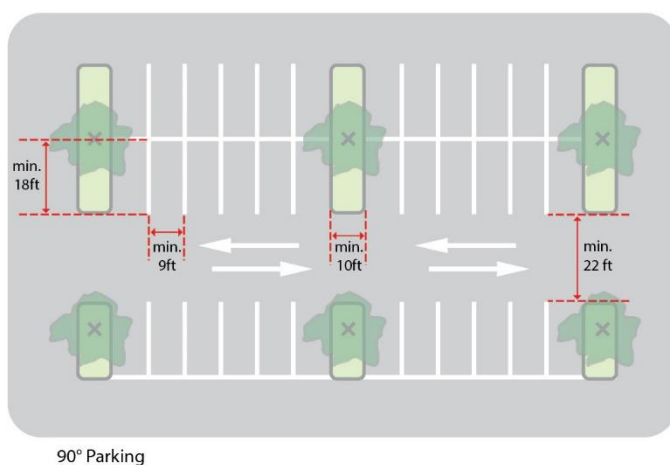


Figure 4.1: 90 Degree Parking

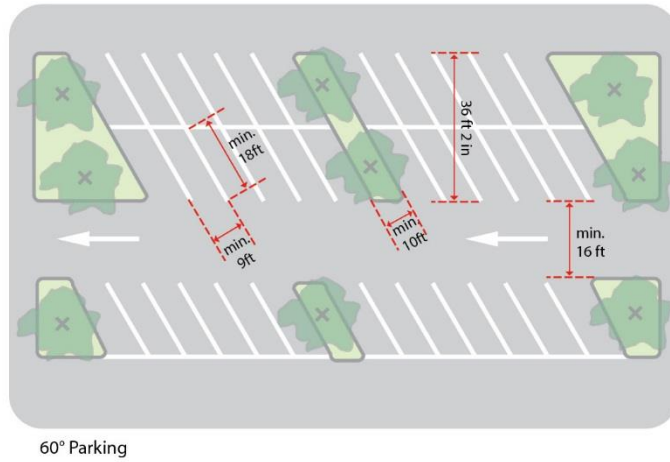


Figure 4.2: 60 Degree Parking

B. Alternatively parking facilities may reduce the paved length of a parking space to sixteen (16) feet, if wheel stops are provided and a minimum of two (2) feet of planting or turf is installed at the front end of each parking space (see Figures 4.3 and 4.4)

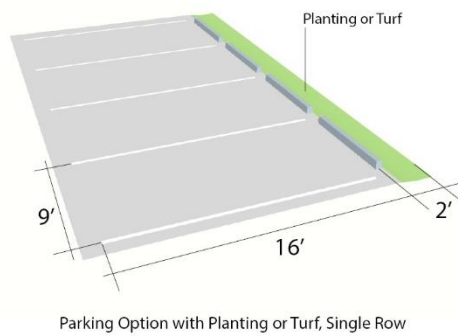


Figure 4.3: Parking with Turf or Planting, Single Row

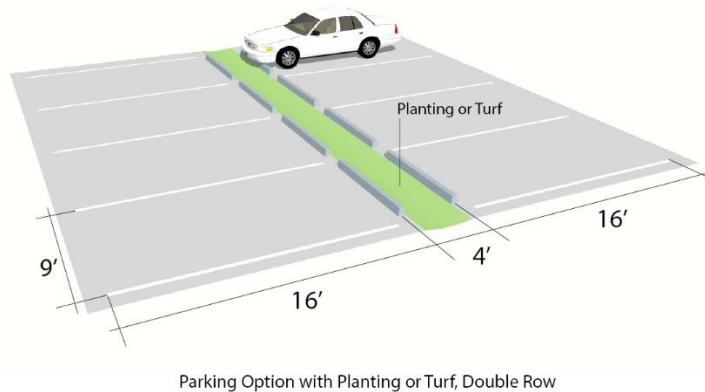


Figure 4.4: Parking with Planting or Turf, Double Row

4.3.2. Surfacing

A. Except as provided below, where parking facilities or any other vehicular use area are provided, they shall be surfaced with pervious concrete, pervious asphalt, porous pavers, asphalt bituminous, concrete or other dust free material approved by the Zoning Regulatory Administrator, and shall be maintained in a smooth, well-graded condition.

B. Driveways, parking areas for heavy equipment and loading zones may be paved with impervious surfacing materials like conventional concrete and asphalt.

C. Where an existing tree is adjacent to parking paver bricks or other pervious surface shall be used within the dripline of the tree. No parking shall be located closer than five (5) feet from the trunk of an existing tree.

4.3.3. Setback

A. In the event any parking abuts a walkway, sidewalk or street, the parking shall be separated by curbing or other protective device with a minimum distance of 2.5 feet between the protective device and the edge of the walkway or sidewalk, and 10 feet between the protective device and the street right-of-way.

B. All parking shall be separated from buildings by a minimum distance of three (3) feet.

4.3.4. Striping

All parking areas shall be striped to designate parking spaces.

4.3.5. Non-Conforming Parking Lots

Non-conforming parking lots shall be brought in compliance with the requirements of this section when any one (1) of the following occurs:

- A. A new principal building is constructed.
- B. A building addition is constructed that expands the building footprint by thirty percent (30%) or more.
- C. Over fifty percent (50%) of the total area of an existing parking lot is reconstructed.
- D. An existing parking lot under ten-thousand (10,000) square feet in area is expanded by fifty percent (50%) or more in total surface area.
- E. An existing parking lot over ten-thousand (10,000) square feet in area is expanded by twenty-five percent (25%) or more in total surface area.

4.4. Loading

- A. On-site loading zones shall be located behind the front building line.
- B. Loading bays shall not face Paul Maillard Road.

4.5. Generally.

The landscaping requirements listed in Section VIII. D of The St. Charles Parish Zoning Ordinance of 1981, shall apply for any planting standards that are not provided in this section.

5. Screening and Fencing

5.1. Yard Fencing

- A. Along interior side and rear lot lines a fence may be erected in compliance with the following requirements.
 - i. The fence shall not exceed eight (8) feet in height.
 - ii. Wood fences, ornamental fences, or fences of substantially similar appearance are allowed.
 - iii. Chain link security fencing may be established in side and rear yards that do not face a street if located behind the front building line and provided that barbed and razor wire shall not be permitted.
- B. Front yards shall not be fenced, except an ornamental fence not taller than four (4) feet measured from sidewalk elevation may be used to enclose allowed customer areas along street frontages.
- C. Fences facing streets shall be constructed of wrought or cast metal or a similar durable material approved by the Planning and Zoning Director, and may include a masonry wall a maximum height of two and one-half (2.5) feet.

5.2. Dumpsters and Recycling Containers

- A. Dumpsters and Recycling Containers shall be fully enclosed on three (3) sides by a solid fence, a masonry wall, or principal structure wall seven (7) feet in height. The enclosure shall be gated.
- B. The materials used for screening, including the enclosure, shall complement the architecture of the principal building.
- C. Any restaurant shall not store trash, prepare food, or locate service uses in a rear or interior side yard that abuts a residential use.
- D. Dumpsters shall be located behind the front building line, or the side building line on a corner lot.

5.3. Loading Berths

Loading berths shall be screened by a masonry wall or a solid fence at least eight (8) feet in height.

5.4. Utilities

- A. Above-ground public utilities with the exception of utility poles shall be screened by a continuous hedge of no less than three (3) feet in height if surrounded by at least three (3) feet of exposed soil or grass. A setback of no less than one and one-half (1.5) feet must be provided around the equipment to allow for proper operation and maintenance of the equipment.
- B. Mechanical equipment. Mechanical equipment, electrical meter and service components, and similar utility devices, whether ground level, wall mounted, or roof mounted, shall be screened from view at the front property line, and side property line on the corner side if a corner lot. Exterior screening materials shall be the same as the predominant exterior materials of the principal building.

6. Signs

6.1. Generally.

The General Sign Regulations of Section XXI – Sign Regulations of the St. Charles Parish Zoning Ordinance of 1981 shall apply for any standards that are not provided in this section.

6.2. Sign Standards.

Signs shall be established in accordance with the standards stated in this section

SIGN STANDARDS						
Type	Maximum Area	Maximum Height	Maximum Extension from the Wall	Position	Maximum Allowed Number	Allowed in Zone
Wall Sign	1 sf per each linear ft of business frontage; not to exceed 32 sf	n/a	4 ft	8 ft above ground or higher	1 per unit	A, B
Awning & Canopy Sign	20 sf, not to exceed 40% of the total face area; vertical height not to exceed 5 ft	Not to exceed ground floor height	3 ft	8 ft above ground or higher	1 per unit	A, B
Free Standing Sign	1 sf per each linear ft of building frontage, not to exceed 40 sf; vertical height not to exceed 5 ft	15 ft	n/a	10 feet from Right of Way; placed in a landscaped area of 20sf or larger	1 per site, if building setback is larger than 25 ft.	B
Hanging Sign	6 sf; 3 ft length	n/a	n/a	8 ft above ground or higher; within 2 ft of the front entrance	1 per unit	A, B
Residential Entrance Sign	40 sf, vertical height not to exceed 5 ft	12 ft	n/a	Landscaped area	1 per 50 dwellings	A, B
Sandwich Board	6 sf double sided	n/a	n/a	Within 5 ft of the front entrance	1 per business	A, B
Address & Building Name	8 sf	n/a	n/a	n/a	1 per address	A, B
Directional Sign	4 sf for freestanding signs; 10 sf on building walls	6ft	n/a	n/a	2 per access point	A, B
Window Sign	10% of window area	n/a	n/a	n/a	n/a	A, B

Table 7.1: Sign Standards

6.3. Determination of Sign Area

A. For signs on a background, the entire area of the background is calculated as sign area, including any material or color forming the sign face and the background used to differentiate the sign from the structure against which it is mounted. Sign area does not include any supports or bracing.

B. For signs consisting of freestanding letters or logos, the sign area is calculated as the total area of each square, circle, rectangle, or triangle, or combination thereof that encompasses each individual letter or logo. Sign area does not include any supports or bracing.

C. For freestanding signs, height is calculated as the vertical distance measured from the grade of the site where the sign is to be installed or the grade of the roadway, whichever is higher, to the highest point of the sign. Grade is considered the lower of the existing grade prior to construction or the newly established grade after construction.

6.4. Murals

Upon approval of the Planning and Zoning Director, murals may be allowed on building walls and masonry fences or enclosures subject to the following criteria:

- A. Any portion of a painted or applied sign containing advertising, commercial messages, or logos shall not be considered a mural but a wall sign.
- B. The area of a mural shall not be included in the computation of total sign area.
- C. A mural shall not extend more than six (6) inches from the surface on which it is applied, shall not extend beyond the height of the structure on which it is applied, and shall not include moving or protruding elements.
- D. Murals must be applied in a durable material or paint finish that can withstand five (5) years of regular wear and weathering.

6.5. Bulletin Boards

Bulletin boards limited to twelve (12) square feet in area or less are allowed on public, charitable, or religious institutions.

6.6. Prohibited

Signs

All other sign types, including, but not limited to, off-premise advertising signs and projector, animated, or electronic variable message signs are prohibited.

6.7. Illumination

- A. A wall, projecting, hanging, or window sign may be illuminated internally.
- B. All signs may be illuminated externally except that a sign shall not be illuminated both internally and externally.
- C. Illumination shall not be aimed, directed or reflected, focused, or mounted to cause direct light from the luminaire to be directed toward residential uses or adjoining uses, or to create up light, spill light, or glare perceptible to persons operating motor vehicles on public ways.
- D. Illumination of the sign face shall not exceed fifty (50) lumens per square foot and flashing, blinking, or scintillating lights are prohibited.

6.8. Abandoned Signs

- A. An abandoned sign is one in which the business has moved or changed name or type of business such that the sign information is no longer relevant.
- B. The entire structure must be removed within six (6) months of being abandoned.
- C. The face of the sign must be removed or covered within one (1) month after termination of the use.

6.9. Non-conforming Signs

- A. Where a sign is nonconforming, the sign and its supporting structure shall be removed or otherwise modified to conform to the provisions of this section by December 14, 2018, or within eight (8) years after its initial construction, whichever is later.
- B. Prior to December 14, 2018, or the end of the eight (8) year period as defined in paragraph 'A', the owner of a nonconforming sign other than a freestanding sign may submit a written request to the St. Charles Planning and Zoning Commission for an extension of eight (8) months, August 14, 2019, to come into compliance with the provisions of this Title. The written request must explain how the nonconformities will be resolved within the extension period.

7. Outdoor Lighting

- A. Outdoor illumination of any building, seating area, plaza, courtyard, planting, or similar purpose shall not be aimed, directed or reflected, focused, or mounted to cause direct light from the luminaire to be directed toward residential uses, or to create up light, spill light, or glare perceptible to persons operating motor vehicles on public ways.
- B. The installation of any mercury-vapor fixture or lamp for use as outdoor lighting is prohibited.

8. Use Standards

A residential use is subject to the following limitations: The conversion to residential use of the upper floors or a ground floor portion of a non-residential building meeting the standards of this section shall comply with the minimum unit size standards of eight-hundred fifty (850) square feet per dwelling unit.

9. Development Credits

- 9.1 Any development within the PMOD that invests in the following improvements according to the adopted St. Charles Parish Paul Maillard Road Complete Streets Plan are eligible for development credits as described below.

- A. Contributing to a Parish fund to reconstruct drainage ditches along Paul Maillard Road into covered drainage pipes
- B. Planting street trees within the right-of-way on the condition that the species, sizes, and locations are approved by the Planning and Zoning Director with no objection from LaDOTD or St. Charles Parish Public Works Director (whichever applies)
- C. Contributing to a Parish fund to plant street trees within the right-of-way
- D. Constructing sidewalks within the right-of-way according to Parish standards and with no objection from LaDOTD or St. Charles Parish Public Works Director (whichever applies)
- E. Contributing to a Parish fund to construct sidewalks within the right-of-way

9.2 Development Credits

- A. Reduced parking requirements up to 15%
- B. Increased building square footage up to 15%
- C. Reduced frontage transparency by 5%
- D. Signage area increased by 15%

The foregoing ordinance having been submitted to a vote, the vote thereon was as follows:

And the ordinance was declared adopted this _____ day of _____, 2016, to become effective five (5) days after publication in the Official Journal.

CHAIRMAN: _____

SECRETARY: _____

DLVD/PARISH PRESIDENT: _____

APPROVED: _____ DISAPPROVED: _____

PARISH PRESIDENT: _____

RETD/SECRETARY: _____

AT: _____ RECD BY: _____