



St. Charles Parish

Meeting Agenda

Parish Council

Council Chairman Bob Fisher
Councilmembers Michael A. Mobley, Holly Fonseca,
La Sandra D. Wilson, Heather Skiba, Walter Pilié,
Willie Comardelle, Michelle O'Daniels, Michele deBruler

St. Charles Parish Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Monday, February 19, 2024

6:00 PM

Council Chambers, Courthouse

Final

CALL TO ORDER

PRAYER / PLEDGE

Pastor Mark Joslin
New Vision Baptist Church, St. Rose

APPROVAL OF MINUTES

Regular Meeting – February 5, 2024

SPECIAL BUSINESS (PROCLAMATIONS, CANVASS RETURNS, ETC.)

- 1 [2024-0077](#) In Recognition: James Grey Hoyt, Eagle Scout
Sponsors: Ms. Skiba
Attachments: [James Hoyt letter](#)
 [2024-0077 James Hoyt](#)

- 2 [2024-0078](#) In Recognition: Skyler Paul Brassette, Eagle Scout
Sponsors: Ms. Fonseca
Attachments: [Skyler Brassett letter](#)
 [2024-0078 Skyler Brassette](#)

- 3 [2024-0079](#) In Recognition: Kyle Daniel Waits, Eagle Scout
Sponsors: Ms. deBruler
Attachments: [Kyle Waits letter](#)
 [2024-0078 Kyle Waits](#)

- 4 [2024-0080](#) Proclamation: “Disability Awareness Month in St. Charles Parish”
Sponsors: Ms. Skiba
Attachments: [2024-0080 Disability Awareness Month](#)

- 5 [2024-0081](#) Proclamation: “Lions Month in St. Charles Parish”
Sponsors: Mr. Comardelle
Attachments: [2024-0081 Lions Month in SCP](#)
- 6 [2024-0082](#) Proclamation: “Problem Gambling Awareness Month”
Sponsors: Mr. Fisher
Attachments: [2024-0082 Problem Gambling Month](#)
- 7 [2024-0083](#) Proclamation: “Arc Fest in St. Charles Parish”
Sponsors: Ms. Skiba
Attachments: [2024-0083 ARC Fest in SCP](#)

REPORTS (FINANCE AND ADMINISTRATIVE ACTIVITIES)

- [2024-0072](#) Parish President Remarks/Report
Sponsors: Mr. Jewell

ORDINANCES / RESOLUTIONS INTRODUCED FOR PUBLICATION / PUBLIC HEARING

Monday, March 4, 2024 6:00 pm, Council Chambers, Courthouse, Hahnville

- 8 [2024-0085](#) An ordinance approving and authorizing the execution of an Agreement between Adams and Reese, LLP, and St. Charles Parish for governmental affairs representation.
Sponsors: Mr. Jewell and Department of Legal Services
Attachments: [2024-0085 Adams & Reese Agreement](#)

- 15 [2024-0086](#) An ordinance to amend the St. Charles Parish Zoning Ordinance of 1981, to change the zoning classification from R-1A(M) to R-2 on Lots 47, 48, 49, 50, 51, and 52, Square D, Oak Ridge Park, 1014, 1018, and 1028 Paul Frederick Street, Luling as requested by Alvin Gordon, III.

Sponsors: Mr. Jewell and Department of Planning & Zoning

Attachments: [2024-0086 RECOMMENDATIONS AT A GLANCE](#)

[2024-0086 Minutes](#)

[2024-0086 Staff Report](#)

[2024-0086 Survey](#)

[2024-0086 AERIAL](#)

[2024-0086 ZONING](#)

[2024-0086 FLUM](#)

[2024-0086 Application1](#)

[2024-0086 Testimony](#)

Legislative History

1/4/24	Department of Planning & Zoning	Received/Assigned PH
2/1/24	Department of Planning & Zoning	Recommended Approval to the Planning Commission
2/1/24	Planning Commission	Recommended Approval to the Parish Council

- 29 [2024-0087](#) An ordinance to amend the St. Charles Parish Zoning Ordinance of 1981, to change the zoning classification from R-1A(M) to R-3 on Lots D-1 and D-2, Square 14, 315-317 Smith Street and 212 Highway 3160, Hahnville as requested by Troy A. Bailey.

Sponsors: Mr. Jewell and Department of Planning & Zoning

Attachments: [2024-0087 RECOMMENDATIONS AT A GLANCE](#)

[2024-0087 Minutes](#)

[2024-0087 Staff Report](#)

[2024-0087 RPlat \(D-1, D-2\)](#)

[2024-0087 AERIAL](#)

[2024-0087 ZONING](#)

[2024-0087 FLUM](#)

[2024-0087 Application1](#)

Legislative History

12/22/23	Department of Planning & Zoning	Received/Assigned PH
2/1/24	Department of Planning & Zoning	Recommended Denial to the Planning Commission
2/1/24	Planning Commission	Recommended Approval to the Parish Council

43 [2024-0088](#) An ordinance to amend the St. Charles Parish Zoning Ordinance of 1981, to change the zoning classification from O-L to R-1M and M-1 on Lot 19, Pecan Grove Plantation Subdivision, 12320 River Road, Destrehan as requested by Anna Nelson for DNA Real Estate, LLC.

Sponsors: Mr. Jewell and Department of Planning & Zoning

Attachments: [2024-0088 RECOMMENDATIONS AT A GLANCE](#)

[2024-0088 Minutes](#)

[2024-0088 Staff Report](#)

[2024-0088 Site Plan with Zoning](#)

[2024-0088 AERIAL](#)

[2024-0088 ZONING](#)

[2024-0088 FLUM](#)

[2024-0088 Application1](#)

[2024-0088 Survey](#)

Legislative History

12/29/23	Department of Planning & Zoning	Received/Assigned PH
2/1/24	Department of Planning & Zoning	Recommended Approval to the Planning Commission
2/1/24	Planning Commission	Recommended Approval to the Parish Council

- 60** [2024-0089](#) An Ordinance to amend the St. Charles Parish Zoning Ordinance of 1981 to change the zoning classification from O-L and R-1A(M) to R-1A on Lots P-1, 1B-1-A, 1A-1, and those properties designated as the Roussel Tract and Lot 3605A, approximately 42.5 acres between Dixieland and Country Cottage Subdivisions, 17956 and 17962 River Road, Montz as requested by Denver Perilloux, Terry & Dana Perilloux, Robert Oubre, and Chris M. Trepagnier for OT Properties, LLC & Three 4 Three, LLC.

Sponsors: Mr. Jewell and Department of Planning & Zoning

Attachments: [2024-0089 RECOMMENDATIONS AT A GLANCE](#)

- [2024-0089 Minutes](#)
- [2024-0089 Staff Report](#)
- [2024-0089 AERIAL](#)
- [2024-0089 ZONING](#)
- [2024-0089 FLUM](#)
- [2024-0089 Submitted Photos](#)
- [2024-0089 Denver Perilloux Application1](#)
- [2024-0089 Denver RPlat](#)
- [2024-0089 OT Properties, LLC Application1](#)
- [2024-0089 Oubre RPlat](#)
- [2024-0089 Perilloux RPlat](#)
- [2024-0089 Robert Oubre Application1](#)
- [2024-0089 Survey](#)
- [2024-0089 Terry & Dana Perilloux Application1](#)
- [2024-0089 Three 4 Three LLC Application1](#)

Legislative History

1/3/24	Department of Planning & Zoning	Received/Assigned PH
2/1/24	Department of Planning & Zoning	Recommended Approval to the Planning Commission
2/1/24	Planning Commission	Recommended Approval to the Parish Council
2/9/24	Parish President	Introduced

- 101** [2024-0090](#) An ordinance approving and authorizing the execution of Change Order No. One (1) for the Barber Road Bank Stabilization, (Project No. P210702), to increase the contract amount by \$64,659.69 and increase the contract time by 7 calendar days.

Sponsors: Mr. Jewell and Department of Public Works

Attachments: [2024-0090 DOC02_05_24](#)

ORDINANCES SCHEDULED FOR PUBLIC HEARING (INTRODUCED AT PREVIOUS MEETING)

- 145** [2024-0066](#) An ordinance approving and authorizing the execution of Change Order No. 1 for AHU-5 HVAC System Replacement (Project No. GB-AC-0220), to decrease the contract amount by \$3,034.00.

Sponsors: Mr. Jewell and General Government Buildings

Attachments: [Change Order No. 1 for AHU-5 HVAC System Replacement, \(Project No. GB-A](#)

Legislative History

2/5/24	Parish President	Introduced
2/5/24	Parish Council	Publish/Scheduled for Public Hearing to the Parish Council

- 150** [2024-0069](#) An ordinance approving and authorizing the execution of Amendment No. 2 to Ordinance No. 23-5-2 which approved the Professional Services Agreement with Alpha Testing and Inspection, Inc. for additional testing services for the Hydraulic Bottleneck Near Destrehan P.S. No. 2 (Project No. P190507), in the not to exceed amount of \$25,000.00, bringing the overall agreement amount to \$70,000.00.

Sponsors: Mr. Jewell and Department of Public Works

Attachments: [2024-0069 Amendment Template - Legal](#)

[2024-0069 Attachment C-1](#)

[2024-0069 Resolution](#)

Legislative History

2/5/24	Parish President	Introduced
2/5/24	Parish Council	Publish/Scheduled for Public Hearing to the Parish Council

- 157** [2024-0070](#) An ordinance approving and authorizing the execution of a Professional Services Agreement with Triton Controls & Engineering, Inc., to perform engineering services for the Wastewater PLC Upgrade (Project No. S240101), in the amount not to exceed \$156,778.00.

Sponsors: Mr. Jewell and Department of Wastewater

Attachments: [2024-0070 2023 11 09 Professional Services Agreement + Attachments \(PW E](#)

[2024-0070 2024 Rate Sheet - St. Charles Parish \(Attachment C-1\)](#)

[2024-0070 STC Triton Signature](#)

Legislative History

2/5/24	Parish President	Introduced
2/5/24	Parish Council	Publish/Scheduled for Public Hearing to the Parish Council

RESOLUTIONS

- 171 [2024-0073](#) A resolution approving and authorizing the execution of a Federally Funded Agreement between the Governor's Office of Homeland Security and Emergency Preparedness and St. Charles Parish for funding in the amount of \$848,758.00 to elevate five residential flood prone structures to prevent further damages and reduce NFIP claims.

Sponsors: Mr. Jewell and Grants Office

Attachments: [2024-0073 FMA-PJ-06-LA-2022-013 Swift Current St.Charles Parish Non-Disas](#)

- 175 [2024-0074](#) A resolution approving and authorizing the execution of a Federally Funded Agreement between the Governor's Office of Homeland Security and Emergency Preparedness and St. Charles Parish for funding in the amount of \$2,986,354.00 to elevate 16 residential flood prone structures to prevent further damages and reduce NFIP claims.

Sponsors: Mr. Jewell and Grants Office

Attachments: [2024-0074 FMA-PJ-06-LA-2022-010 St. Charles Parish Non-Disaster Subgrant](#)

- 179 [2024-0075](#) A resolution approving and authorizing the execution of a Federally Funded Agreement between the Governor's Office of Homeland Security and Emergency Preparedness and St. Charles Parish for funding in the amount of \$578,597.00 to elevate four residential flood prone structures to prevent further damages and reduce NFIP claims.

Sponsors: Mr. Jewell and Grants Office

Attachments: [2024-0075 FMA-PJ-06-LA-2022-014 Swift Current St.Charles Parish Non-Disas](#)

- 183 [2024-0076](#) A resolution authorizing the Parish President to execute agreements and documents pertaining to the Restore Louisiana Infrastructure: FEMA Public Assistance Non-Federal Share Match Program.

Sponsors: Mr. Jewell and Grants Office

APPOINTMENTS

- [2024-0071](#) A resolution appointing a member to the St. Charles Parish Library Board of Control as the District V Representative.

On Monday, March 4, 2024, the Council Chairman will accept nominations to the St. Charles Parish Library Board of Control from the District V Councilmember to fill the vacancy created by the expiration of the term of Ms. Tammy Windmann. Five (5) year term to begin April 1, 2024 and expire April 1, 2029. [Ms. Windmann has served two consecutive terms and cannot be re-appointed]

Legislative History

3/25/19	Parish Council	Enacted Legislation
	Ms. Tammy M. Windmann appointed to the Library Service District Board of Control on March 25, 2019, per Resolution No. 6400	
	Term: April 1, 2019 - April 1, 2024	

MEETINGS, ANNOUNCEMENTS, NOTICES, ETC.**MEETINGS**

HOUSING AUTHORITY: Tuesday, 2/27/24, 6PM, Council Chambers

HOSPITAL SERVICE DISTRICT NO. 1: Wednesday, 2/28/24, 2PM, Council Chambers

ST. CHARLES PARISH COUNCIL: Monday, 3/4/24, 6PM, Council Chambers

ANNOUNCEMENTS

IMPORTANT DATES FOR THE MARCH 23, 2024 ELECTION:

**Wednesday, February 21, 2024 - Last Day to Register to Vote in Person or by mail*

**Saturday, March 2, 2024 - Last Day to Register to Vote Online at geauxvote.com*

**Early Voting: Saturday, March 9, 2024 and Monday, March 11 – Saturday, March 16, 2024*

8:30 am - 6:00 pm - Westbank – Courthouse, 15045 River Rd. Hahnville; Eastbank – Arterbury Building, 14564 River Rd. New Sarpy

**Tuesday, March 19, 2024 – Last Day to request Absentee by Mail Ballots*

**Friday, March 22, 2024 - Last day for Registrar to receive voted Absentee Ballot*

**Saturday, March 23, 2024 - Election Day – 7:00 am – 8:00 pm*

Accommodations for Disabled

St. Charles Parish will upon request and with three (3) days advanced notice provide reasonable accommodation to any disabled individual wishing to attend the meeting. Anyone requiring reasonable accommodation is requested to contact the Office of the Council Secretary at (985) 783-5000 to discuss the particular accommodations needed.



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0077 **Version:** 1 **Name:** In Recognition: James Grey Hoyt, Eagle Scout
Type: Proclamation **Status:** Special Business
File created: 2/19/2024 **In control:** Parish Council
On agenda: 2/19/2024 **Final action:**
Enactment date: **Yes**
Title: In Recognition: James Grey Hoyt, Eagle Scout
Sponsors: Heather Skiba
Indexes:
Code sections:
Attachments: [James Hoyt letter](#)
[2024-0077 James Hoyt](#)

Date	Ver.	Action By	Action	Result
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**Boy Scouts of America
Troop 370
306 Ellen Street
Ama, Louisiana 70031**

RECEIVED

NOV 29 2023

November 27, 2023

Council Secretary Michelle Impastato
15045 River Road
Hahnville, LA 70057

Dear Secretary Impastato,

The Scouts, Leaders and Members of the Committee of Boy Scout Troop 370 take great pleasure in announcing that:

**Having completed the requirements for, and having been examined by an
Eagle Scout Board of Review**

James Grey Hoyt

Was found worthy of the rank of Eagle Scout.

In honor of this achievement, we have scheduled an Eagle Scout Court of Honor for James on Saturday, January 13, 2024 at 6:00 PM. The Court of Honor will be held at St. Anthony Catholic Church, Luling, Louisiana, in the Community Activities Building.

We would appreciate a letter or certificate acknowledging his achievement, along with any other item you wish to be presented to him during the ceremony. We will compile it, along with other acknowledgments, and place it in a suitable keepsake commemorating this special occasion.

Please address your letter and recognition to Eagle Scout James Grey Hoyt, 306 Ellen Street, Ama, Louisiana, 70031.

Thank you for taking time from your extremely busy schedule to help this community recognize the achievements and service of Eagle Scout James Grey Hoyt.

Sincerely,

Gary Dolese
Scoutmaster

The Parish of St. Charles

February 19, 2024

IN RECOGNITION

WHEREAS, James Grey Hoyt is a resident of St. Charles Parish, residing in Luling, Louisiana with his parents Gail and Pat Hoyt; and,

WHEREAS, James is a member of Troop 370 chartered by St. Anthony of Padua Catholic Church in Luling; he started his Scouting career in August 2013; and,

WHEREAS, James has spent the last 11 years as an active member of the Scouts, spending the last 7 years preparing to become an EAGLE SCOUT; and,

WHEREAS, James has earned his 47 merit badges from a list of 137 badges and completed his Eagle Scout Service Project by constructing benches and tables for the International School of Louisiana; and,

WHEREAS, James earned these 47 merit badges by showing leadership ability as Senior Patrol Leader, Patrol Leader, Assistant Patrol Leader; and,

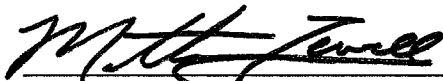
WHEREAS, James rose to the rank of EAGLE SCOUT on October 3, 2023, and received his medal in a ceremony on January 13, 2024, at the St. Anthony of Padua Community Activity Building in Luling; and,

WHEREAS, James is a Senior at Hahnville High School, and will continue to grow as an EAGLE SCOUT by providing leadership as an Assistant Scoutmaster for Troop 370.

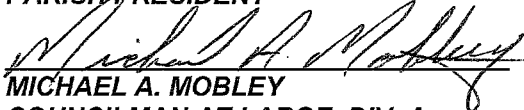
NOW THEREFORE, BE IT RESOLVED, WE THE MEMBERS OF THE ST. CHARLES PARISH COUNCIL AND THE PARISH PRESIDENT, do hereby offer this tribute and recognition to

JAMES GREY HOYT

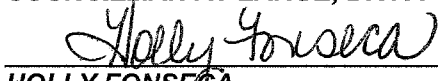
*"PARISH OF PLENTY"
created in 1807 from the county of the
"German Coast", a parish of
unprecedented economic and social
development, known for its
hospitality, rural living and sporting
opportunities... with the added
distinction of being located
on both sides of the
Mighty Mississippi River.*



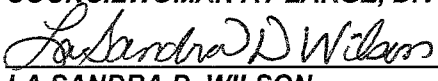
MATTHEW JEWELL
PARISH PRESIDENT



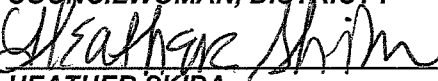
MICHAEL A. MOBLEY
COUNCILMAN AT LARGE, DIV. A



HOLLY FONSECA
COUNCILWOMAN AT LARGE, DIV. B



LA SANDRA D. WILSON
COUNCILWOMAN, DISTRICT I



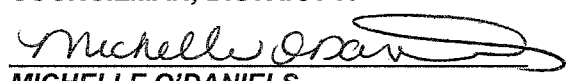
HEATHER SKIBA
COUNCILWOMAN, DISTRICT II



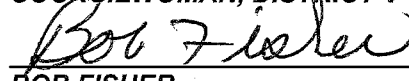
WALTER PILIE
COUNCILMAN, DISTRICT III



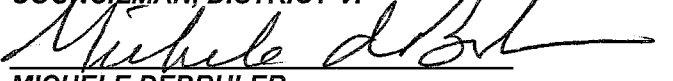
WILLIE COMARDELLE
COUNCILMAN, DISTRICT IV



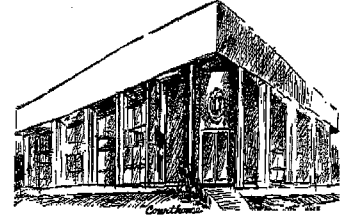
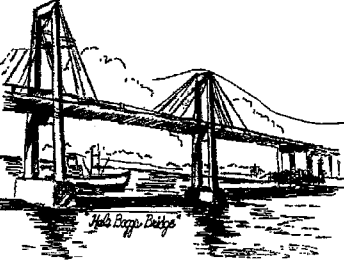
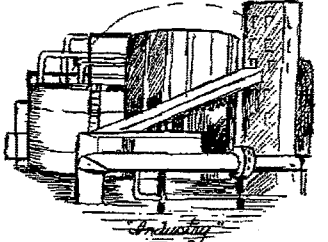
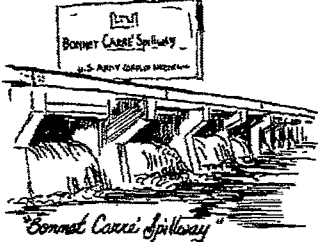
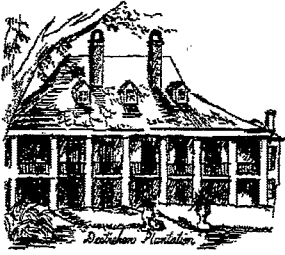
MICHELLE O'DANIELS
COUNCILWOMAN, DISTRICT V



BOB FISHER
COUNCILMAN, DISTRICT VI



MICHELE DEBRULER
COUNCILWOMAN, DISTRICT VII





St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0078 **Version:** 1 **Name:** In Recognition: Skyler Paul Brassette, Eagle Scout
Type: Proclamation **Status:** Special Business
File created: 2/19/2024 **In control:** Parish Council
On agenda: 2/19/2024 **Final action:**
Enactment date: **Yes**
Title: In Recognition: Skyler Paul Brassette, Eagle Scout
Sponsors: Holly Fonseca
Indexes:
Code sections:
Attachments: [Skyler Brassett letter](#)
[2024-0078 Skyler Brassette](#)

Date	Ver.	Action By	Action	Result
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**Boy Scouts of America
Troop 370
306 Ellen Street
Ama, Louisiana 70031**

November 27, 2023

Council Secretary Michelle Impastato
15045 River Road
Hahnville, LA 70057

RECEIVED

NOV 29 2023

PARISH OFFICE

Dear Secretary Impastato,

The Scouts, Leaders and Members of the Committee of Boy Scout Troop 370 take great pleasure in announcing that:

**Having completed the requirements for, and having been examined by an
Eagle Scout Board of Review**

Skyler Paul Brassette

Was found worthy of the rank of Eagle Scout.

In honor of this achievement, we have scheduled an Eagle Scout Court of Honor for Skyler on Saturday, January 13, 2024 at 6:00 PM. The Court of Honor will be held at St. Anthony Catholic Church, Luling, Louisiana, in the Community Activities Building.

We would appreciate a letter or certificate acknowledging his achievement, along with any other item you wish to be presented to him during the ceremony. We will compile it, along with other acknowledgments, and place it in a suitable keepsake commemorating this special occasion.

Please address your letter and recognition to Eagle Scout Skyler Paul Brassette, 306 Ellen Street, Ama, Louisiana, 70031.

Thank you for taking time from your extremely busy schedule to help this community recognize the achievements and service of Eagle Scout Skyler Paul Brassette.

Sincerely,

A handwritten signature in black ink that reads "Gary Dolese".

Gary Dolese
Scoutmaster

The Parish of St. Charles

February 19, 2024

IN RECOGNITION

WHEREAS, Skyler Paul Brassette is a resident of St. Charles Parish, residing in Luling Louisiana with his parents Hollie and Wes, and sister Shea; and,

WHEREAS, Skyler is a member of Troop 370 chartered by St. Anthony of Padua Catholic Church in Luling; he started his Scouting career in August 2013; and,

WHEREAS, Skyler has spent the last 10 years as an active member of the Scouts, spending the last 7 years preparing to become an EAGLE SCOUT; and,

WHEREAS, Skyler has earned his 44 merit badges from a list of 137 badges and completed his Eagle Scout Service Project by constructing bat house boxes to be placed in the Bonnet Carre Spillway; and,

WHEREAS, Skyler earned these 44 merit badges by showing leadership ability as Assistant Senior Patrol Leader, Patrol Leader, Troop Guide, Historian, and Assistant Patrol Leader; and,

WHEREAS, Skyler rose to the rank of EAGLE SCOUT on October 3, 2023, and received his medal in a ceremony on January 13, 2024, at the St. Anthony of Padua Community Activity Building in Luling; and,

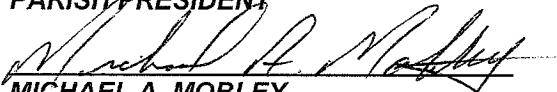
WHEREAS, Skyler is a Senior at Hahnville High School, and will continue to grow as an EAGLE SCOUT by providing leadership as an Assistant Scoutmaster for Troop 370.

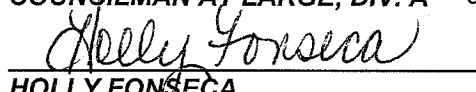
NOW THEREFORE, BE IT RESOLVED, WE THE MEMBERS OF THE ST. CHARLES PARISH COUNCIL AND THE PARISH PRESIDENT, do hereby offer this tribute and recognition to

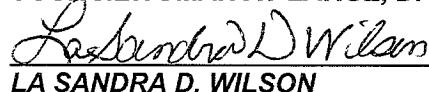
SKYLER PAUL BRASSETTE

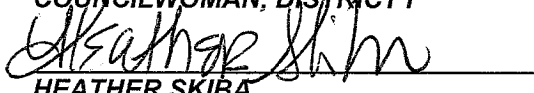
"PARISH OF PLENTY"
created in 1807 from the county of the
"German Coast", a parish of
unprecedented economic and social
development, known for its
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opportunities... with the added
distinction of being located
on both sides of the
Mighty Mississippi River.



MATTHEW JEWELL
PARISH PRESIDENT



MICHAEL A. MOBLEY
COUNCILMAN AT LARGE, DIV. A

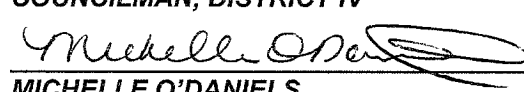

HOLLY FONSECA
COUNCILWOMAN AT LARGE, DIV. B



LA SANDRA D. WILSON
COUNCILWOMAN, DISTRICT I

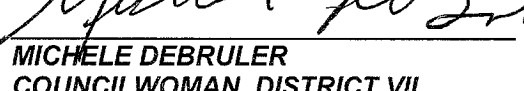

HEATHER SKIBA
COUNCILWOMAN, DISTRICT II

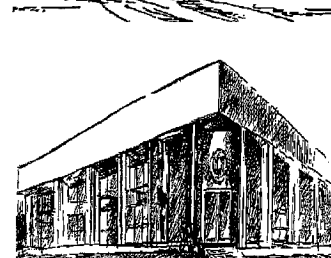
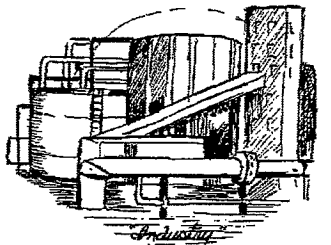
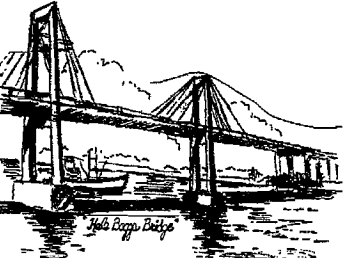
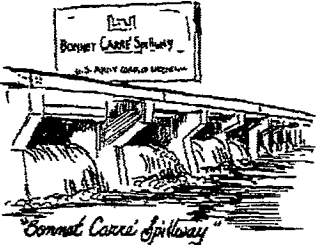
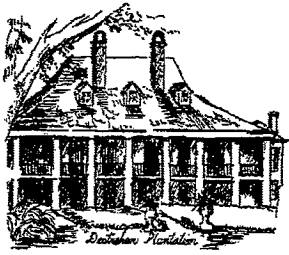

WALTER PILLIE
COUNCILMAN, DISTRICT III


WILLIE COMARDELLE
COUNCILMAN, DISTRICT IV


MICHELLE O'DANIELS
COUNCILWOMAN, DISTRICT V


BOB FISHER
COUNCILMAN, DISTRICT VI


MICHELE DEBRULER
COUNCILWOMAN, DISTRICT VII





St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0079 **Version:** 1 **Name:** In Recognition: Kyle Daniel Waits, Eagle Scout
Type: Proclamation **Status:** Special Business
File created: 2/19/2024 **In control:** Parish Council
On agenda: 2/19/2024 **Final action:**
Enactment date: **Yes**
Title: In Recognition: Kyle Daniel Waits, Eagle Scout
Sponsors: Michele deBruler
Indexes:
Code sections:
Attachments: [Kyle Waits letter](#)
[2024-0078 Kyle Waits](#)

Date	Ver.	Action By	Action	Result
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**Boy Scouts of America
Troop 370
306 Ellen Street
Ama, Louisiana 70031**

RECEIVED

JAN 26 2024

PARISH COUNCIL

January 19, 2024

Council Secretary Michelle Impastato
15045 River Road
Hahnville, LA 70057

Dear Secretary Impastato,

The Scouts, Leaders and Members of the Committee of Boy Scout Troop 370 take great pleasure in announcing that:

**Having completed the requirements for, and having been examined by an
Eagle Scout Board of Review**

Kyle Daniel Waits

Was found worthy of the rank of Eagle Scout.

In honor of this achievement, we have scheduled an Eagle Scout Court of Honor for Kyle on Saturday, March 16, 2024 at 6:00 PM. The Court of Honor will be held at St. Anthony Catholic Church, Luling, Louisiana, in the Community Activities Building.

We would appreciate a letter or certificate acknowledging his achievement, along with any other item you wish to be presented to him during the ceremony. We will compile it, along with other acknowledgments, and place it in a suitable keepsake commemorating this special occasion.

Please address your letter and recognition to Eagle Scout Kyle Waits, 306 Ellen Street, Ama, Louisiana, 70031.

Thank you for taking time from your extremely busy schedule to help this community recognize the achievements and service of Eagle Scout Kyle Daniel Waits.

Sincerely,

Gary Dolese
Scoutmaster

The Parish of St. Charles

February 19, 2024

IN RECOGNITION

WHEREAS, Kyle Daniel Waits is a resident of St. Charles Parish, residing in Luling, Louisiana with his parents Tanya and Stuart, and brother Zachary and sister Kaitlyn; and,

WHEREAS, Kyle is a member of Troop 370 chartered by St. Anthony of Padua Catholic Church in Luling; he started his Scouting career in August 2012; and,

WHEREAS, Kyle has spent the last 11 years as an active member of the Scouts, spending the last 7 years preparing to become an EAGLE SCOUT; and,

WHEREAS, Kyle has earned his 36 merit badges from a list of 137 badges and completed his Eagle Scout Service Project by constructing message boards that were placed in the Bonnet Carre Spillway; and,

WHEREAS, Kyle earned these 36 merit badges by showing leadership ability as Troop Quartermaster, Scribe and Historian; and,

WHEREAS, Kyle rose to the rank of EAGLE SCOUT on October 30, 2023, and will receive his medal in a ceremony on March 16, 2024, at the St. Anthony of Padua Community Activity Building in Luling; and,

WHEREAS, Kyle is a Senior at Hahnville High School, and will continue to grow as an EAGLE SCOUT by providing leadership as an Assistant Scoutmaster for Troop 370.

NOW THEREFORE, BE IT RESOLVED, WE THE MEMBERS OF THE ST. CHARLES PARISH COUNCIL AND THE PARISH PRESIDENT, do hereby offer this tribute and recognition to

KYLE DANIEL WAITS

"PARISH OF PLENTY"
created in 1807 from the county of the
"German Coast", a parish of
unprecedented economic and social
development, known for its
hospitality, rural living and sporting
opportunities... with the added
distinction of being located
on both sides of the
Mighty Mississippi River.

Matthew Jewel

MATTHEW JEWEL
PARISH PRESIDENT

Michael A. Mobley

MICHAEL A. MOBLEY
COUNCILMAN AT LARGE, DIV. A

Holly Fonseca

HOLLY FONSECA
COUNCILWOMAN AT LARGE, DIV. B

La Sandra D. Wilson

LA SANDRA D. WILSON
COUNCILWOMAN, DISTRICT I

Heather Skiba

HEATHER SKIBA
COUNCILWOMAN, DISTRICT II

Walter Pilie

WALTER PILIE
COUNCILMAN, DISTRICT III

Willie Comardelle

WILLIE COMARDELLE
COUNCILMAN, DISTRICT IV

Michelle O'Daniels

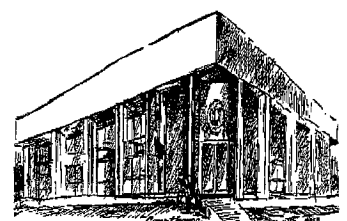
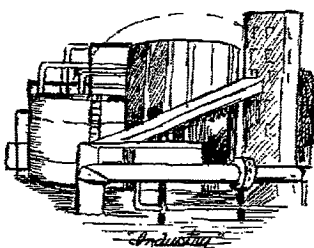
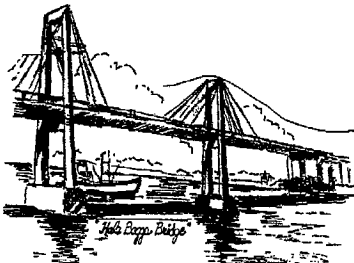
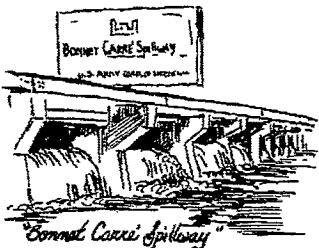
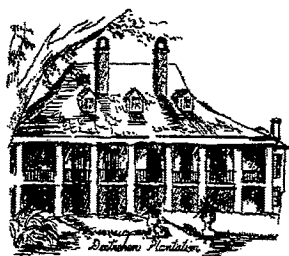
MICHELLE O'DANIELS
COUNCILWOMAN, DISTRICT V

Bob Fisher

BOB FISHER
COUNCILMAN, DISTRICT VI

Michele Debruler

MICHELE DEBRULER
COUNCILWOMAN, DISTRICT VII





St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0080 **Version:** 1 **Name:** Proclamation: "Disability Awareness Month in St. Charles Parish"
Type: Proclamation **Status:** Special Business
File created: 2/19/2024 **In control:** Parish Council
On agenda: 2/19/2024 **Final action:**
Enactment date: **Yes**
Title: Proclamation: "Disability Awareness Month in St. Charles Parish"
Sponsors: Heather Skiba
Indexes:
Code sections:
Attachments: [2024-0080 Disability Awareness Month](#)

Date	Ver.	Action By	Action	Result
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PROCLAMATION

WHEREAS, the Arc of St. Charles is a non-profit organization committed to providing services and support that enable people of all ages with developmental and intellectual disabilities and special needs to attain their full potential; and,

WHEREAS, the Arc strives to promote and maintain a high level of professionalism in all areas and to maximize all resources, human and financial, in the interest of helping all persons they serve lead fulfilling and rewarding lives; and,

WHEREAS, the Arc includes over 140,000 members affiliated through more than 650 state and local chapters across the Nation; and,

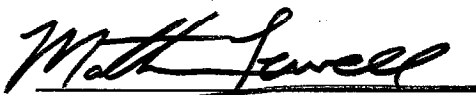
WHEREAS, it is important that every individual and family affected by intellectual and developmental disabilities have access to information, advocacy, and skills they need to participate as active members of their community and to live an ordinary decent American life; and,

WHEREAS, people with intellectual and developmental disabilities and their families are valued, respected, and included in all communities; they direct their own lives and can choose services and support from many available sources; and they are empowered through non-profit advocacy. State and Federal Governments administer programs and set a budget that meet everyone's needs.

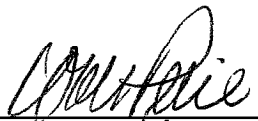
NOW THEREFORE, BE IT RESOLVED, WE THE MEMBERS OF THE ST. CHARLES PARISH COUNCIL AND THE PARISH PRESIDENT, DO HEREBY PROCLAIM THE MONTH OF MARCH 2024 AS

"DISABILITY AWARENESS MONTH IN ST. CHARLES PARISH"

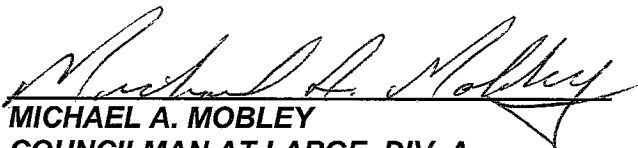
BE IT FURTHER RESOLVED, WE THE MEMBERS OF THE ST. CHARLES PARISH COUNCIL AND THE PARISH PRESIDENT, DO HEREBY URGE THAT THE CITIZENS OF ST. CHARLES PARISH GIVE FULL SUPPORT TO EFFORTS TOWARD ENABLING PEOPLE WITH INTELLECTUAL AND DEVELOPMENTAL DISABILITIES TO LIVE PRODUCTIVE LIVES AND ACHIEVE THEIR POTENTIAL.



MATTHEW JEWELL
PARISH PRESIDENT



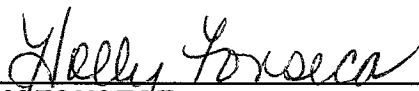
WALTER PILIE
COUNCILMAN, DISTRICT III



MICHAEL A. MOBLEY
COUNCILMAN AT LARGE, DIV. A



WILLIE COMARDELLE
COUNCILMAN, DISTRICT IV



HOLLY FONSECA
COUNCILWOMAN AT LARGE, DIV. B



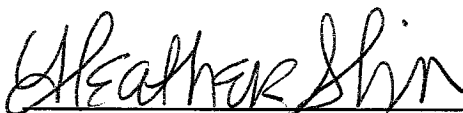
MICHELLE O'DANIELS
COUNCILWOMAN, DISTRICT V



LA SANDRA D. WILSON
COUNCILWOMAN, DISTRICT I



BOB FISHER
COUNCILMAN, DISTRICT VI



HEATHER SKIBA
COUNCILWOMAN, DISTRICT II



MICHELE DEBRULER
COUNCILWOMAN, DISTRICT VII



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0081 **Version:** 1 **Name:** Proclamation: "Lions Month in St. Charles Parish"
Type: Proclamation **Status:** Special Business
File created: 2/19/2024 **In control:** Parish Council
On agenda: 2/19/2024 **Final action:**
Enactment date: **Yes**
Title: Proclamation: "Lions Month in St. Charles Parish"
Sponsors: Willie Comardelle
Indexes:
Code sections:
Attachments: [2024-0081 Lions Month in SCP](#)

Date	Ver.	Action By	Action	Result
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PROCLAMATION

WHEREAS, through services, Lions Clubs have impacted the lives of millions of people; and,

WHEREAS, the Lions engage our youth – by helping to organize and participate in service projects which may include school or community facility cleanups or a visit to a home for senior citizens or a children’s hospital; and,

WHEREAS, the Lions share the vision – by planning vision health projects in working with the visually impaired, by organizing vision screenings, volunteering at nearby Lions Eyeglass Recycling Centers, and by organizing an eyeglass collection; and,

WHEREAS, the Lions relieve the hunger – by organizing food drives and projects to feed the hungry, to help alleviate hunger by planning events to collect and distribute food; and,

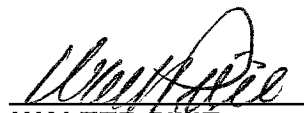
WHEREAS, the Lions protect our environment – by implementing projects that improve and protect the environment which may include organizing a highway cleanup, planting trees, or planning a community “Earth Day” event; and,

WHEREAS, it is the desire of the Parish Council and the Parish President to bring this most worthy organization to the attention of the Citizens of St. Charles Parish.

NOW THEREFORE, BE IT RESOLVED, WE THE MEMBERS OF THE ST. CHARLES PARISH COUNCIL AND THE PARISH PRESIDENT, DO HEREBY PROCLAIM MARCH 2024 AS

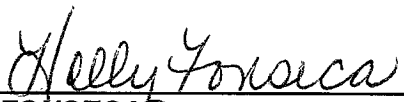
"LIONS MONTH IN ST. CHARLES PARISH"


MATTHEW JEWELL
PARISH PRESIDENT



WALTER PILIE
COUNCILMAN, DISTRICT III


MICHAEL A. MOBLEY
COUNCILMAN AT LARGE, DIV. A

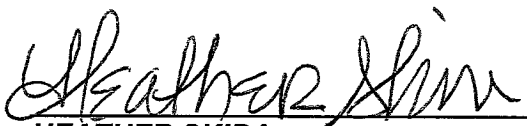

WILLIE COMARDELLE
COUNCILMAN, DISTRICT IV

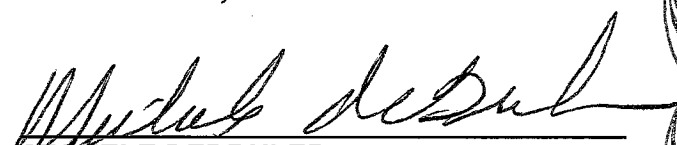

HOLLY FONSECA
COUNCILWOMAN AT LARGE, DIV. B


MICHELLE O'DANIELS
COUNCILWOMAN, DISTRICT V


LA SANDRA D. WILSON
COUNCILWOMAN, DISTRICT I


BOB FISHER
COUNCILMAN, DISTRICT VI


HEATHER SKIBA
COUNCILWOMAN, DISTRICT II


MICHELE DEBRULER
COUNCILWOMAN, DISTRICT VII



St. Charles Parish

St. Charles Parish
Courthouse
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P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0082 **Version:** 1 **Name:** Proclamation: "Problem Gambling Awareness Month"
Type: Proclamation **Status:** Special Business
File created: 2/19/2024 **In control:** Parish Council
On agenda: 2/19/2024 **Final action:**
Enactment date: **Yes**
Title: Proclamation: "Problem Gambling Awareness Month"
Sponsors: Bob Fisher
Indexes:
Code sections:
Attachments: [2024-0082 Problem Gambling Month](#)

Date	Ver.	Action By	Action	Result
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PROCLAMATION

WHEREAS, problem gambling is a public health concern affecting millions of Americans of all ages, races, and ethnic backgrounds in all communities causing a significant societal and economic cost; and,

WHEREAS, promoting awareness provides individuals in the problem gambling community an opportunity to educate the public and policymakers about the social and financial effectiveness of services available for problem gambling; and,

WHEREAS, problem gambling is treatable and treatment is effective in minimizing the harm to both individuals and society as a whole; and,

WHEREAS, the state offers a myriad of services aimed at treating problem gambling, including educational prevention programs, residential treatment, outpatient counseling and aftercare programs throughout the state, a toll-free Louisiana Problem Gamblers Helpline 1-877-770-STOP that answers calls from people seeking help with gambling problems, and a website aimed at the prevention of problem gambling; www.helpforgambling.org; and,

WHEREAS, Louisiana was one of the first states to have numerous state funded programs such as the residential treatment facility, Center of Recovery-CORE in Shreveport for problem gamblers; and,


WHEREAS, numerous organizations, such as the Louisiana Association on Compulsive Gambling, the Louisiana Lottery, the Louisiana Casino Association, the Louisiana Gaming Industry, the Office of the Attorney General, the State Police Gaming Division, and the Gaming Control Board all work together with the Louisiana Department of Health & all statewide Districts to address problem gambling; and

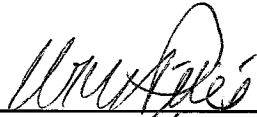
WHEREAS, numerous individuals, professionals and organizations have dedicated their efforts to public education about problem gambling, prevention of problem gambling, along with the availability and effectiveness of treatment services.


NOW THEREFORE, BE IT RESOLVED, WE THE MEMBERS OF THE ST. CHARLES PARISH COUNCIL AND THE PARISH PRESIDENT, DO HEREBY PROCLAIM MARCH 2024 AS

"PROBLEM GAMBLING AWARENESS MONTH"

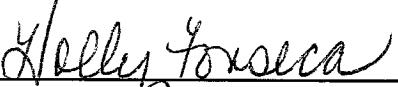
IN ST. CHARLES PARISH AND ENCOURAGE ALL CITIZENS TO HELP SPREAD THE MESSAGE THAT THERE IS HELP FOR PROBLEM GAMBLERS THROUGH TREATMENT AND TO SUPPORT THOSE WHO ARE IN TREATMENT AND RECOVERY AND THEIR FAMILIES.



MATTHEW JEWELL
PARISH PRESIDENT

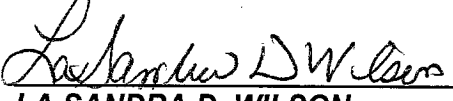

WALTER PILIE
COUNCILMAN, DISTRICT III


MICHAEL A. MOBLEY
COUNCILMAN AT LARGE, DIV. A



WILLIE COMARDELLE
COUNCILMAN, DISTRICT IV



HOLLY FONSECA
COUNCILWOMAN AT LARGE, DIV. B


MICHELLE O'DANIELS
COUNCILWOMAN, DISTRICT V


LA SANDRA D. WILSON
COUNCILWOMAN, DISTRICT I


BOB FISHER
COUNCILMAN, DISTRICT VI


HEATHER SKIBA
COUNCILWOMAN, DISTRICT II


MICHÈLE DEBRULER
COUNCILWOMAN, DISTRICT VII



St. Charles Parish

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Legislation Details

File #: 2024-0083 **Version:** 1 **Name:** Proclamation: "Arc Fest in St. Charles Parish"
Type: Proclamation **Status:** Special Business
File created: 2/19/2024 **In control:** Parish Council
On agenda: 2/19/2024 **Final action:**
Enactment date: **Yes**
Title: Proclamation: "Arc Fest in St. Charles Parish"
Sponsors: Heather Skiba
Indexes:
Code sections:
Attachments: [2024-0083 ARC Fest in SCP](#)

Date	Ver.	Action By	Action	Result
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PROCLAMATION

WHEREAS, the Arc of St. Charles is a non-profit organization committed to providing services and support that enable people of all ages with developmental and intellectual disabilities and special needs to attain their potential; and,

WHEREAS, the Arc strives to promote and maintain a high level of professionalism in all areas and to maximize all resources, human and financial, in the interest of helping all persons with intellectual and developmental disabilities and special needs; and,

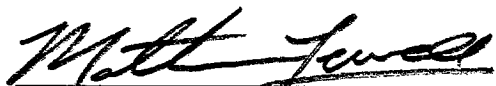
WHEREAS, the Twentieth Annual "Arc Fest" is the weekend of March 9-10, 2024, from 8:00 am to 8:00 pm at the West Bank Bridge Park in Luling; and,

WHEREAS, proceeds from "Arc Fest" benefit the participants and services of The Arc of St. Charles.

NOW THEREFORE, BE IT RESOLVED, WE THE MEMBERS OF THE ST. CHARLES PARISH COUNCIL AND THE PARISH PRESIDENT, DO HEREBY PROCLAIM MARCH 9-10, 2024, AS

"ARC FEST IN ST. CHARLES PARISH"

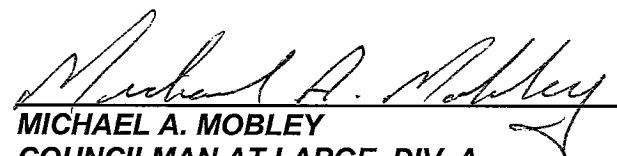
AND ENCOURAGE ALL CITIZENS IN THE PARISH TO ATTEND THE FESTIVAL AT THE WEST BANK BRIDGE PARK.



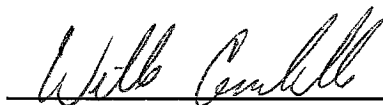
MATTHEW JEWELL
PARISH PRESIDENT



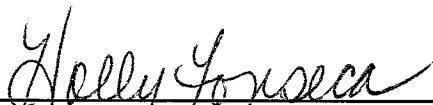
WALTER PILIE
COUNCILMAN, DISTRICT III




MICHAEL A. MOBLEY
COUNCILMAN AT LARGE, DIV. A



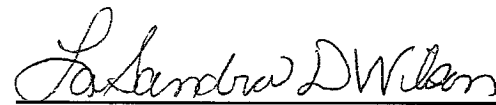
WILLIE COMARDELLE
COUNCILMAN, DISTRICT IV



HOLLY FONSECA
COUNCILWOMAN AT LARGE, DIV. B



MICHELLE O'DANIELS
COUNCILWOMAN, DISTRICT V



LA SANDRA D. WILSON
COUNCILWOMAN, DISTRICT I



BOB FISHER
COUNCILMAN, DISTRICT VI



HEATHER SKIBA
COUNCILWOMAN, DISTRICT II



MICHELE DEBRULER
COUNCILWOMAN, DISTRICT VII



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www.stcharlesparish.gov

Legislation Details

File #: 2024-0072 **Version:** 1 **Name:** Parish President Remarks/Report
Type: Report **Status:** In Council - Reports
File created: 2/19/2024 **In control:** Parish Council
On agenda: 2/19/2024 **Final action:**
Enactment date: **Yes**
Title: Parish President Remarks/Report
Sponsors: Matthew Jewell
Indexes:
Code sections:
Attachments:

Date	Ver.	Action By	Action	Result
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St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
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985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0085 **Version:** 1 **Name:** Agreement between Adams and Reese, LLP, and St. Charles Parish for governmental affairs representation

Type: Ordinance **Status:** Introduced For Public Hearing

File created: 2/19/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: An ordinance approving and authorizing the execution of an Agreement between Adams and Reese, LLP, and St. Charles Parish for governmental affairs representation.

Sponsors: Matthew Jewell, Department of Legal Services

Indexes:

Code sections:

Attachments: [2024-0085 Adams & Reese Agreement](#)

Date	Ver.	Action By	Action	Result
2/19/2024	1	Parish President	Introduced	

AGREEMENT

THIS AGREEMENT is made and effective as of the ____ day of _____, 2024 by and between ST. CHARLES PARISH, a government entity of the State of Louisiana, acting herein by and through its President, Matthew Jewell, who is duly authorized to act on behalf of said Parish, (hereinafter called St. Charles Parish) and Adams and Reese, LLP, a corporation acting herein by and through its duly authorized representative (hereinafter called Consultant).

Whereas, in consideration of the mutual promises and covenants set forth herein, St. Charles Parish and Consultant agree to the following terms and conditions:

1. Duties and Responsibilities of Consultant:
 - a. St. Charles Parish does hereby retain the services of Consultant and Consultant hereby agrees to provide these services to St. Charles Parish all according to the terms set out in this Agreement. The principal duties of Consultant shall be to provide services as follows:
 - i. Advise and consult on behalf of St. Charles Parish with the Executive and Legislative branches of the State of Louisiana and Federal Governments, and all their departments and agencies, as may be deemed necessary to further the interest of St. Charles Parish;
 - ii. Obtain and furnish to St. Charles Parish such information as may be available on State and Federal programs and regulatory matters in which the Parish indicated an interest;
 - iii. Review, evaluate and advise the Parish of State and Federal government, executive, legislative and administrative proposals, rules, and regulations in which St. Charles Parish expresses an interest;

- iv. Review, evaluate and advise St. Charles Parish on proposals which are prepared for submission to State and Federal agencies, when requested;
 - v. Act as liaison with the Louisiana State Legislature and Louisiana Federal Congressional Delegation and keep it informed of the interest and position of St. Charles Parish on pending legislation;
 - vi. Assist St. Charles Parish regarding appearances by Parish officials before Congressional committees and administrative agencies and arrange appointments upon request;
 - vii. Appear and represent St. Charles Parish before State and Federal Congressional committees upon request;
 - viii. Initiate contact with State and Federal agencies to promote the interests of St. Charles Parish when Parish proposals are under consideration by such State and Federal agencies to obtain the most favorable consideration;
 - ix. Advise, consult, and assist with representatives of the private section who are engaging in, or endeavoring to engage in State and Federally assisted economic development when requested by St. Charles Parish;
 - x. Appear before the Parish President and/or Council whenever requested to do so by the Parish President and/or Council for the purpose of providing information and answering questions regarding matters covered by this agreement.
- b. In providing the services described herein, Consultant shall be available to St. Charles Parish at times mutually agreeable to both parties during the period this Agreement is in effect.

11. Terms and Agreement:

- a. This Agreement shall be effective for a period of two (2) years (twenty-four months) beginning March 8, 2024, and can be extended by agreement of the parties for two additional one (1) year terms (twenty-four months) The Agreement may be terminated for cause or upon the death or incapacitating disability of Consultant. In the event of termination, any compensation accrued but unpaid at the time of the termination shall be paid to the Consultant or his assigns.
- b. This Agreement further contemplates that Consultant shall, from time to time, be called upon to provide special services for St. Charles Parish over and above those specified herein, but yet undefined, which services shall be referred to as "special other services or projects", the details of which shall be set forth in a separate written supplement to this Agreement at the time any "special project" is assigned by St. Charles Parish to Consultant. Consultant shall not be compensated for any "special other services or projects" unless said services and payment are specifically agreed upon and approved in writing by St. Charles Parish prior to beginning the "special other services or projects".
- c. This Agreement may be terminated by either party without cause upon thirty (30) days written notice to the other party.

III. Compensation:

- a. Beginning March 8, 2024, St. Charles Parish agrees to pay Consultant a fee of One Hundred Seventy Thousand Dollars and No Cents (\$170,000.00) per annum (paid at a rate of \$ 14, 166.66 per month) for the period this contract is in effect to carry out the terms and conditions of this Agreement for the services

referenced herein. The fee shall be paid per month enumerated on the request for payment form approved by St. Charles Parish.

- b. Consultant is an independent contractor and, therefore, shall not be entitled to any employee benefits of St. Charles Parish.
- c. Payment to the Consultant shall be by check to Consultant (tax identification number 72-0424362). Such payment shall discharge St. Charles Parish of any further obligation with regard to the services performed for which payment has been made.

IV. Confidentiality:

- a. Consultant acknowledges that in the course of performing assignments for St. Charles Parish, Consultant will be exposed to confidential, proprietary, educational and administrative information of St. Charles Parish. Any confidential information acquired by the Consultant shall not be disclosed by it to others or used for Consultant's own benefit. The obligations of Consultant under this paragraph shall survive termination of this Agreement. Consultant shall have no obligation to keep confidential information that (a) was known to Consultant, as evidenced by its written records, prior to receipt of authoritative disclosures; or that (b) hereinafter becomes generally known to the public through no fault of Consultant.

- V. Consultant maintains professional liability insurance with appropriate coverage limits and agrees to provide a declaration page showing these limits upon request. Adams and Reese agrees to indemnify St. Charles Parish only for those actual damages resulting from a breach of its professional responsibility to St. Charles Parish that are covered by its professional liability insurance. Nothing in this

paragraph shall be interpreted to extend the applicable statute of limitation or repose for filing a professional liability claim arising from this engagement and it is agreed that the time period for St. Charles Parish filing any such claim is the same as would apply under the law if this agreement had not been reached.

VI. Insurance:

- a. Consultant shall secure and maintain at its expense professional liability insurance in at least the sum of \$1,000,000.00.
- b. All certificates of insurance shall be furnished to St. Charles Parish and shall provide that insurance shall not be cancelled without ten (10) days prior written notice to St. Charles Parish.

VII. Exclusive Jurisdiction and Venue:

For all claims arising out of or related to this Agreement, Consultant hereby consents and yields to the exclusive jurisdiction and venue of the Twenty-Ninth Judicial District Court for the Parish of St. Charles, State of Louisiana, and expressly waives any (a) pleas of jurisdiction based upon Consultant's residence and (b) right of removal to Federal Court based upon diversity of citizenship.

VIII. Other:

This Agreement constitutes the entire agreement between the parties. There are no understandings, agreements, or representations, oral or written, not specified withing this Agreement. This Agreement may not be modified, supplemented or amended in any manner, except by written agreement signed by both parties.

This Agreement shall be effective on March 8, 2024 and shall terminate on March 8, 2026, unless otherwise extended, re-negotiated or terminated for as set forth above herein.

IN WITNESS WHEREOF, the parties to these presents have hereunto caused these presents to be executed the day, month and year first above mentioned.

WITNESSES:

ST. CHARLES PARISH

By: Matthew Jewell
Parish President

Date:

WITNESSES:

ADAMS AND REESE, LLP
CONSULTANT

By:

Date:



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0086 **Version:** 1 **Name:** R-1A(M) to R-2 on Lots 47, 48, 49, 50, 51, and 52, Square D, Oak Ridge Park, 1014, 1018, and 1028 Paul Frederick Street, Luling as requested by Alvin Gordon, III

Type: Ordinance **Status:** Introduced For Public Hearing

File created: 2/19/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: An ordinance to amend the St. Charles Parish Zoning Ordinance of 1981, to change the zoning classification from R-1A(M) to R-2 on Lots 47, 48, 49, 50, 51, and 52, Square D, Oak Ridge Park, 1014, 1018, and 1028 Paul Frederick Street, Luling as requested by Alvin Gordon, III.

Sponsors: Matthew Jewell, Department of Planning & Zoning

Indexes:

Code sections:

Attachments: [2024-0086 RECOMMENDATIONS AT A GLANCE](#)
[2024-0086 Minutes](#)
[2024-0086 Staff Report](#)
[2024-0086 Survey](#)
[2024-0086 AERIAL](#)
[2024-0086 ZONING](#)
[2024-0086 FLUM](#)
[2024-0086 Application 1](#)
[2024-0086 Testimony](#)

Date	Ver.	Action By	Action	Result
2/19/2024	1	Parish President	Introduced	
2/1/2024	1	Planning Commission	Recommended	Approval
2/1/2024	1	Department of Planning & Zoning	Recommended	Approval
1/4/2024	1	Department of Planning & Zoning	Received/Assigned	PH

RECOMMENDATIONS AT A GLANCE

2024-2-R requested by Alvin Gordon, III for a change of zoning from R-1A(M) to R-2 on Lots 47, 48, 49, 50, 51, and 52, Oak Ridge Park Subdivision, 1014-1028 Paul Frederick Drive, Luling. Council District 1.

Planning Department Recommendation:

Approval.

Planning Commission Recommendation:

Approval.

2024-2-R requested by Alvin Gordon, III for a change of zoning from R-1A(M) to R-2 on Lots 47, 48, 49, 50, 51, and 52, Oak Ridge Park Subdivision, 1014-1028 Paul Frederick Drive, Luling. Council District 1.

Mr. Welker - The proposed rezoning conforms to the land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zoning that is incompatible with the surrounding neighborhood.

The subject site is within an area designated Low-to-Moderate Residential, which primarily anticipates development of those residential uses typically permitted in the R-1A, R-1B, and R-1A(M) zoning districts. However, the designation does consider alternative housing types with a moderately higher density that are not typically permitted, or permitted by right, in those districts. This includes duplexes, patio/zero-lot line homes, townhomes, and accessory units. The R-2 zoning district is not explicitly recommended under the Low-to-Moderate Residential designation, but duplexes are considered in the description as an appropriate residential development type. Since duplexes are permitted by right starting in the R-2 district, it is appropriate to consider it in conformance with the Low-to-Moderate Residential designation and the Comprehensive Plan Future Land Use Map. There is no R-2 zoning in the area, and while consisting of six lots the site is still less than an acre, so it is appropriate to consider this a spot zone affecting a small area. But conformance with the comprehensive plan takes precedence over being a spot zone as part of the Department's analysis. The request meets the first guideline.

The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property and the proposed zoning does.

The existing R-1A(M) zoning district was established in 1981 and this block of Paul Frederick Street has been developed with a mix of manufactured and site-built homes for decades.

The subject site consists of 6 individual lots measuring 70 ft. wide and approximately 5,300 sq. ft. Under current zoning each lot can be developed by right with either a new manufactured or site-built home. By rezoning to R-2, new lot size requirements would apply. The minimum lot width would increase from 50 ft. to 60 ft., and the minimum lot area from 5,000 sq. ft. to 6,000 sq. ft. If the rezoning is approved a resubdivision consolidating into five lots would be required to meet the minimum lot area for the R-2 district (this would also be the case if zoned R-1A). Despite losing one lot, the ability to permit duplexes would allow for ten total dwellings compared to the six that can be permitted today. But while an additional four dwellings is beneficial, the ability to develop the six existing lots under the current zoning is far from unreasonable, especially considering the reduced lot sizes, setbacks, and lower cost housing options permitted in the district. And this has not been impacted by any substantial changes in the land-use pattern or character of the neighborhood. The request does not meet the second guideline.

Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.

Despite being an upzoning permitting housing at a higher density, the R-2 district is more in-line with the development standards of the R-1A zoning district compared to the reduced standards of the existing R-1A(M). This includes:

- Site-built construction
- Same lot area (6,000 sq. ft. / 60 ft. wide)
 - R-1A(M) allows lots of 5,000 sq. ft. / 50 ft. wide
- Same setbacks (20 ft. front / 5 ft. sides / 20 ft. rear)
 - R-1A(M) permits 15 ft. front and 5 ft. rear setbacks
- Same rear yard coverage requirement (25%)
 - No such requirement under R-1A(M)

The more stringent development requirements of the R-2 zoning district, both in terms of construction type and lot size requirements, would actually allow for development more in character with the site-built houses on Paul Frederick Street and abutting to the rear on Kinler Street, and not adversely impact neighborhood character.

The site is located in a developed area where Parish water, sanitary sewer, and drainage facilities are available and will not be overburdened by the four additional units that may be permitted. But as referenced under the Utilities section of this report, coordination between the property owner and the Department of Public Works must occur regarding a potential drainage servitude within the subject site in order to facilitate a larger drainage project. This does not directly affect the rezoning request, but would impact any subsequent resubdivision and permitting. The request meets the third guideline.

The department recommends approval, based on meeting the first and third rezoning criteria.

I also want to mention that the applicant has been in touch with and is working with the Department of Public Works, there looking to arrange a meeting with them I believe next week to kind of go over that whole drainage servitude issue so that's being worked out.

Applicant – Alvin Gordon, III, I stay at 9512 Linden Loop in Waggaman.

The public hearing was open and closed, no one spoke for or against.

Commissioner Krajcer, Jr. made a motion to approve, seconded by Folse, Jr.

YEAS: Price, Keen, Ross, Petit, Folse, Jr., Krajcer, Jr.
NAYS: None
ABSENT: Frangella
PASSED



Department of Planning & Zoning Staff Report – Map Amendment Case No. 2024-2-R

APPLICATION INFORMATION

- **Submittal Date:** 1/4/2024
- **Applicant / Property Owner**
Alvin Gordon, III
9512 Linden Loop
Westwego, LA 70094
504-236-5112; goodguyfinishing@hotmail.com
- **Request**
Change of zoning:
 - Current - R-1A(M), Single Family Residential Detached Conventional Homes, Manufactured Homes, and Mobile Homes - Medium density
 - Proposed - R-2, Two Family Residential

SITE INFORMATION

- **Location**
Lots 47, 48, 49, 50, 51, and 52, Square D, Oak Ridge Park; Lots 47, 48, and 52 are addressed as 1014, 1018, and 1028 Paul Frederick Street, Luling
- **Size:** approximately 31,710 sq. ft. (0.72 acres)
- **Current Use:** undeveloped
- **Surrounding Zoning**
R-1A(M) zoning is located to the Paul Frederick, Brooklyn, and Hackberry Street sides; R-1A zoning is adjacent to the Kinler Street side.
- **Surrounding Uses**
The site is in a developed residential area adjacent to the Paul Maillard Road corridor. Dwellings on Paul Frederick Street consist of both manufactured and site-built single family homes. Those adjacent to rear on Kinler Street are exclusively site-built single family homes.
- **Zoning History**
The existing R-1A(M) district was established in 1981.
- **Future Land Use Recommendation**
Low-to-Moderate Residential: Single-family detached dwellings; attached dwellings such as duplexes, patio/zero-lot line homes and townhomes; and accessory units. Neighborhood retail, services, offices and institutions are also permitted in appropriate locations such as along transportation corridors or at intersections (over six dwellings per acre).

Recommended Zoning Districts: R-1A (6,000 sf. min. lot size), R-1B (10,000 sf. min. lot size), R-1AM (accessory units and individual mobile homes)
- **Flood Zone & Minimum Building Elevation**
1992 Flood Insurance Rate Map: X Zone
2013 Digital Flood Insurance Rate Map: X
- **Traffic Access**
Each lot has 70 ft. of frontage and access on Paul Frederick Street.

- **Utilities**

Per the Parish GIS wastewater facilities are available along Paul Frederick Street.

Per the Department of Waterworks a 12 inch line is available on Paul Frederick Street and the development potential from this proposed rezone would not adversely impact water supply.

Per the Senior Engineer with the Department of Public Works (DPW), there is no objection to the rezoning. But DPW is working on a project to correct deficient drainage in the area, and the subject site was identified for a servitude that would facilitate drainage improvements for the Kinler/Paul Frederick subdivisions. This would need to be a consideration as part of any subsequent resubdivisions and/or improvements made to the subject site. The property owner has been provided this information and directed to DPW for more information.

APPLICABLE REGULATIONS

Appendix A. Section VI. – Zoning District Criteria and Regulations

[VII.] *R-2. Two-family residential:*

1. Use Regulations:
 - a. A building or land shall be used only for the following purposes:
 - (1) See uses allowed in the R-1A district
 - (2) Two-family dwellings
 - (3) Single family dwellings
 - (4) Accessory uses.
 - (5) Nonresidential accessory buildings shall not be permitted.
 - b. Special exception uses and structures include the following:
 - (1) Club houses and/or accessory recreational facilities for resident use only
 - (2) Professional, non-retail offices
 - c. Special permit uses and structures include the following:
 - (1) Child care centers
 - (2) Schools (public, private, and commercial)
 - (3) Religious institutions
 - (4) *Reserved.*
 - (5) *Reserved.*
 - (6) Private commercial access roads, upon review by the Planning Commission and supporting resolution of the Council.
 - d. Transportation system required: Local or collector street.
2. Spatial Requirements:
 - a. Minimum lot size: Six thousand (6,000) square feet (3,000 per family); minimum width - sixty (60) feet.
 - b. Minimum yard sizes:
 - (1) Front - twenty (20) feet
 - (2) Side - five (5) feet each side
 - (3) Rear - twenty (20) feet.
 - (4) Whenever property abuts a major drainage canal as defined by the Subdivision regulations the required setback for all structures shall be ten (10) feet measured from the inner boundary of such servitude or right-of-way, notwithstanding any other more restrictive setbacks, this provision shall not apply to any lot of record created and existing prior to the effective date of Ordinance No. 99-12-8, December 15, 1999.
 - c. Accessory buildings:
 - 1) An accessory building may occupy no more than twenty-five (25) percent of the required rear yard.
 - 2) The accessory building shall not exceed two-story construction.
 - 3) Minimum rear setback of accessory building shall be the same as side yard requirement of the district in which it is located.
 - 4) Accessory buildings shall be located on the same parcel of land as the main structure.
 - d. Permitted encroachments:
 - 1) Overhangs projecting not more than twenty-four (24) inches, excluding gutter.
 - 2) Stairs and landings not more than three (3) feet in height, projecting no more than four (4) feet into required front or rear yard.
3. Transportation System Requirement: Front on local or collector street only.
4. Special Provisions:
 - a. Where any two-family residential district (R-2) abuts any residential zoning district or use, a six-foot high solid wood fence or masonry wall shall be erected.

Appendix A. Section XV. - Amendment procedure

- D. Rezoning guidelines and criteria: The proponent for a change should present reasonable factual proof that two or more of the following criteria are met:
 1. The proposed rezoning conforms to land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zone that is incompatible with the surrounding neighborhood.
 2. The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property, and that the proposed zoning does. In order to determine what is reasonable use of the property, the proponent for the zoning change should consider one or more of the following:
 - a. Consideration of uses on adjacent properties that would limit the use of the site under consideration.

- b. Consideration of unique or unusual physical or environmental limitations due to size, shape, topography or related hazards or deficiencies.
 - c. Consideration of changes in land value, physical environment or economic aspects which can be shown to limit the usefulness of vacant land or buildings.
3. Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.

The Planning Staff shall base rezoning analyses on these criteria but shall not be prohibited from factoring unique circumstances of the application into the analysis. The Planning and Zoning Commission may state in its recommendations to the Council: its concurrence with, or rejection of, any or all of the proponents' case for the suggested amendment, and/or its position relative to proponents' statements on the case. Planning Staff analyses and recommendations shall be forwarded to the Council along with the Commission's recommendations.

- E. Rezoning approval criteria: Before the Council votes to approve a rezoning, there should be reasonable factual proof by the applicant that:
- 1. The proposed map amendment is in compliance, or is not in conflict, with the goals and recommendations of the St. Charles Parish Comprehensive Plan and Future Land Use Map, also
 - 2. The proposed map amendment does not negatively impact the health, safety, and welfare of the community.

REZONING GUIDELINE & CRITERIA EVALUATION

1. *The proposed rezoning conforms to the land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zoning that is incompatible with the surrounding neighborhood.*

The subject site is within an area designated *Low-to-Moderate Residential*, which primarily anticipates development of those residential uses typically permitted in the R-1A, R-1B, and R-1A(M) zoning districts. However, the designation does consider alternative housing types with a moderately higher density that are not typically permitted, or permitted by right, in those districts. This includes duplexes, patio/zero-lot line homes, townhomes, and accessory units. The R-2 zoning district is not explicitly recommended under the *Low-to-Moderate Residential* designation, but duplexes are considered in the description as an appropriate residential development type. Since duplexes are permitted by right starting in the R-2 district, it is appropriate to consider it in conformance with the *Low-to-Moderate Residential* designation and the Comprehensive Plan Future Land Use Map. There is no R-2 zoning in the area, and while consisting of six lots the site is still less than an acre, so it is appropriate to consider this a spot zone affecting a small area. But conformance with the comprehensive plan takes precedence over being a spot zone as part of the Department's analysis. **The request meets the first guideline.**

2. *The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property and the proposed zoning does.*

The existing R-1A(M) zoning district was established in 1981 and this block of Paul Frederick Street has been developed with a mix of manufactured and site-built homes for decades.

The subject site consists of 6 individual lots measuring 70 ft. wide and approximately 5,300 sq. ft. Under current zoning each lot can be developed by right with either a new manufactured or site-built home. By rezoning to R-2, new lot size requirements would apply. The minimum lot width would increase from 50 ft. to 60 ft., and the minimum lot area from 5,000 sq. ft. to 6,000 sq. ft. If the rezoning is approved a resubdivision consolidating into five lots would be required to meet the minimum lot area for the R-2 district (this would also be the case if zoned R-1A). Despite losing one lot, the ability to permit duplexes would allow for ten total dwellings compared to the six that can be permitted today. But while an additional four dwellings is beneficial, the ability to develop the six existing lots under the current zoning is far from unreasonable, especially considering the reduced lot sizes, setbacks, and lower cost housing options permitted in the district. And this has not been impacted by any substantial changes in the land-use pattern or character of the neighborhood. **The request does not meet the second guideline.**

3. *Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.*

Despite being an upzoning permitting housing at a higher density, the R-2 district is more in-line with the development standards of the R-1A zoning district compared to the reduced standards of the existing R-1A(M). This includes:

- Site-built construction
- Same lot area (6,000 sq. ft. / 60 ft. wide)
 - R-1A(M) allows lots of 5,000 sq. ft. / 50 ft. wide
- Same setbacks (20 ft. front / 5 ft. sides / 20 ft. rear)
 - R-1A(M) permits 15 ft. front and 5 ft. rear setbacks
- Same rear yard coverage requirement (25%)
 - No such requirement under R-1A(M)

The more stringent development requirements of the R-2 zoning district, both in terms of construction type and lot size requirements, would actually allow for development more in character with the site-built houses on Paul Frederick Street and abutting to the rear on Kinler Street, and not adversely impact neighborhood character.

The site is located in a developed area where Parish water, sanitary sewer, and drainage facilities are available and will not be overburdened by the four additional units that may be permitted. But as referenced under the Utilities section of this report, coordination between the property owner and the Department of Public Works must occur regarding a potential drainage servitude within the subject site in order to facilitate a larger drainage project. This does not directly affect the rezoning request, but would impact any subsequent resubdivision and permitting. **The request meets the third guideline.**

DEPARTMENT RECOMMENDATION

Approval, based on meeting the first and third rezoning criteria.

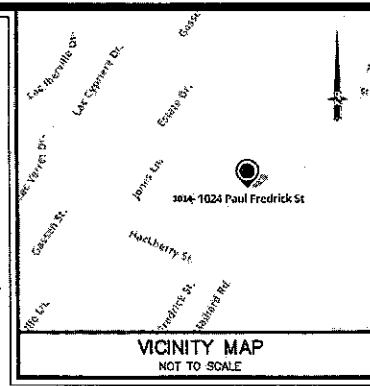
This request will be forwarded to the Parish Council for a second public hearing with the Planning Commission's recommendation.

GENERAL NOTES

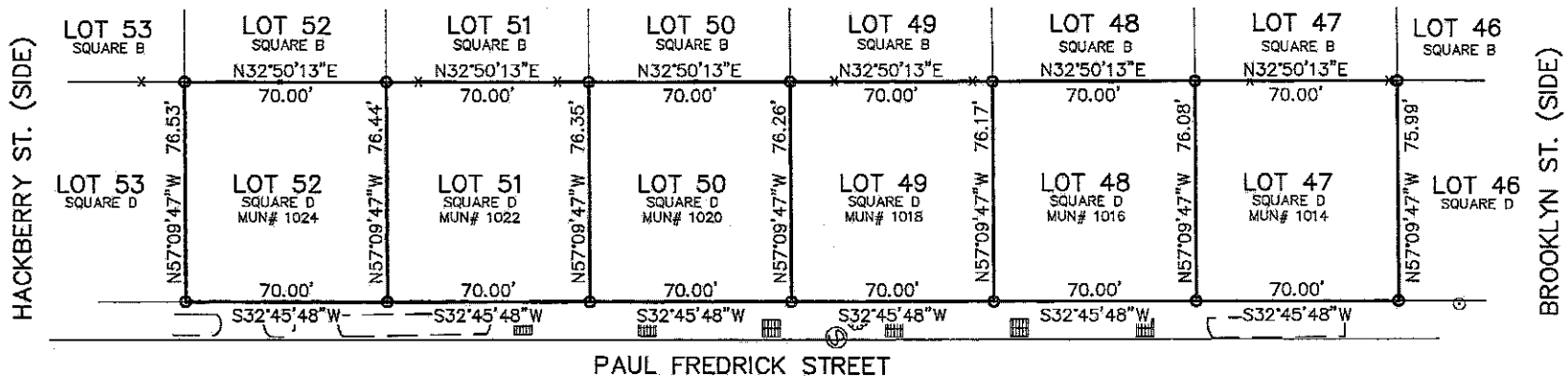
THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.



GRID NORTH
NORTH REFERENCED TO LOUISIANA
STATE PLANE COORDINATE SYSTEM,
SOUTH ZONE, NAD 83.

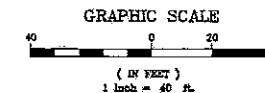


KINLER ST. (SIDE)



LEGEND

○ 5/8" IRON ROD (SET)



SCALE: 1" = 40'	
DATE: 12/28/2023	
DRAWN BY: K.A.B.	CHECKED BY: Y.C.L.
PROJ. NO: 503	
SHEET 1	OF 1

The Servitudes and Restrictions shown on this survey are limited to those set forth in the description furnished us and there is no representation that all applicable Servitudes and Restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.

I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found this property is not in a Special Flood Hazard Area.

FIRM ZONE: X
COMMUNITY: ST. CHARLES PARISH
PANEL NUMBER: 220160 0150C
DATED: 06/16/1992

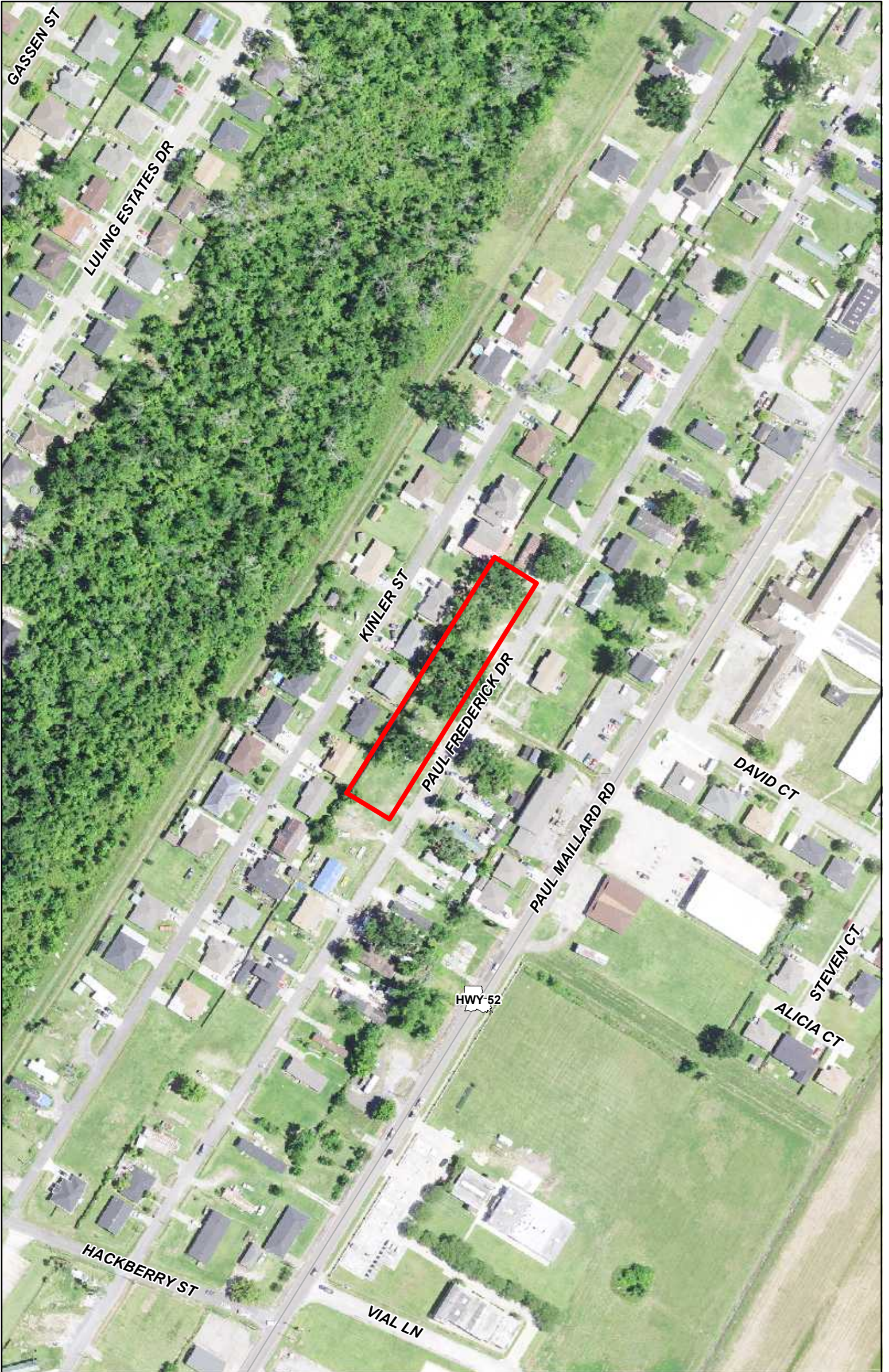
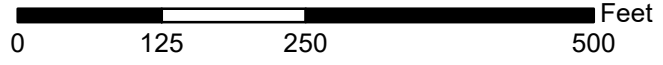
BOUNDARY SURVEY
1014-1024 PAUL FREDERICK STREET
LOTS 47-52, SQUARE D
OAK RIDGE PARK SUBDIVISION
ST. CHARLES PARISH, LOUISIANA

I certify that this plat represents an actual ground survey made by me or under my direction, and it does conform to the requirements for the Minimum Standards for Property Boundary Surveys as found in Louisiana Administrative Code TITLE 46: XXI, Chapter 28 for a Class 5₁ survey.

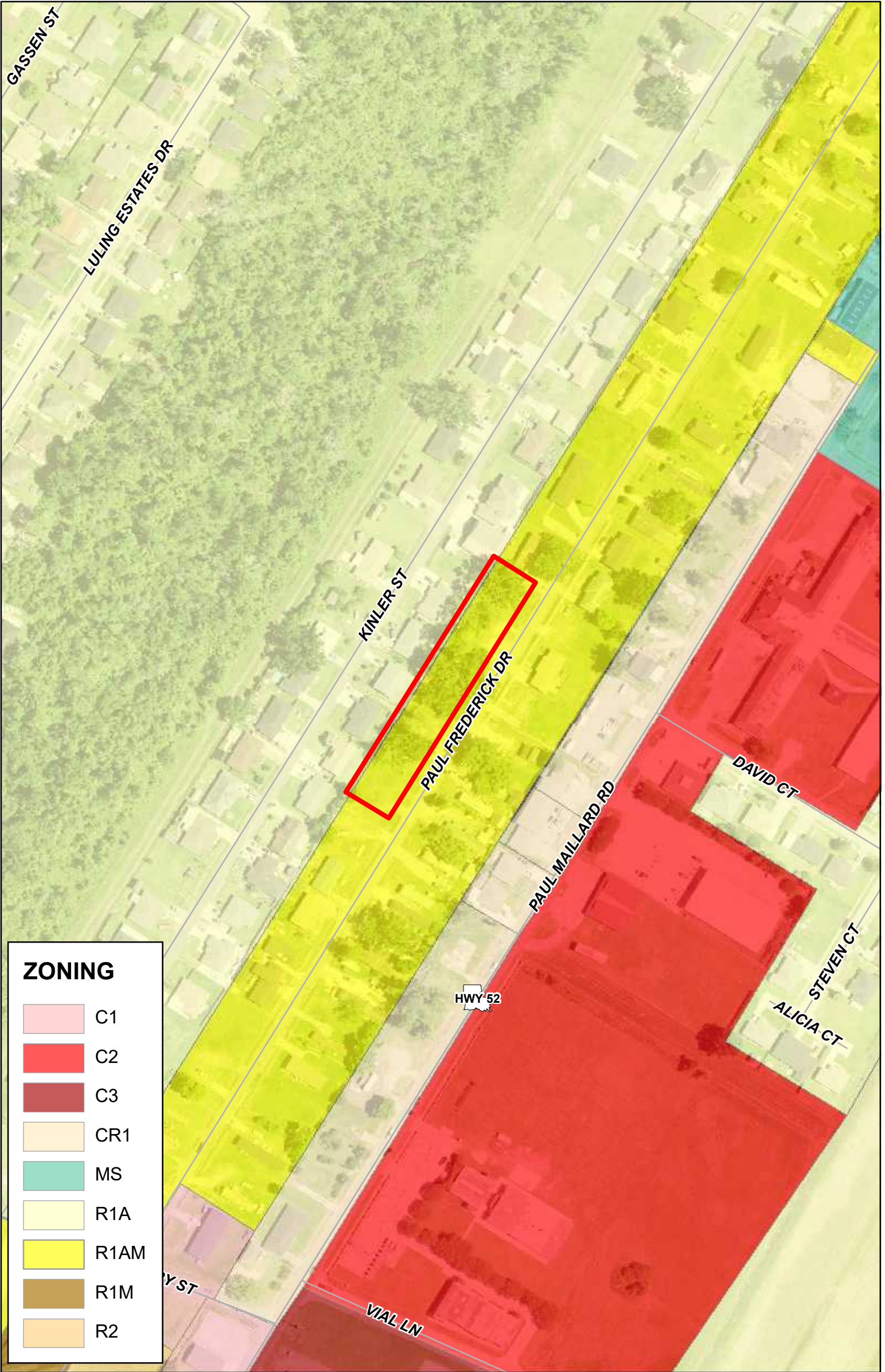
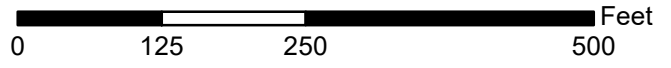
GOOD GUY FINISHING LLC

DRAGON LIMITED, INC.
4641 Fairfield St, Suite C
Metairie, LA 70006
Tel: 504-883-9641

2024-2-R
R-1A(M) to R-2

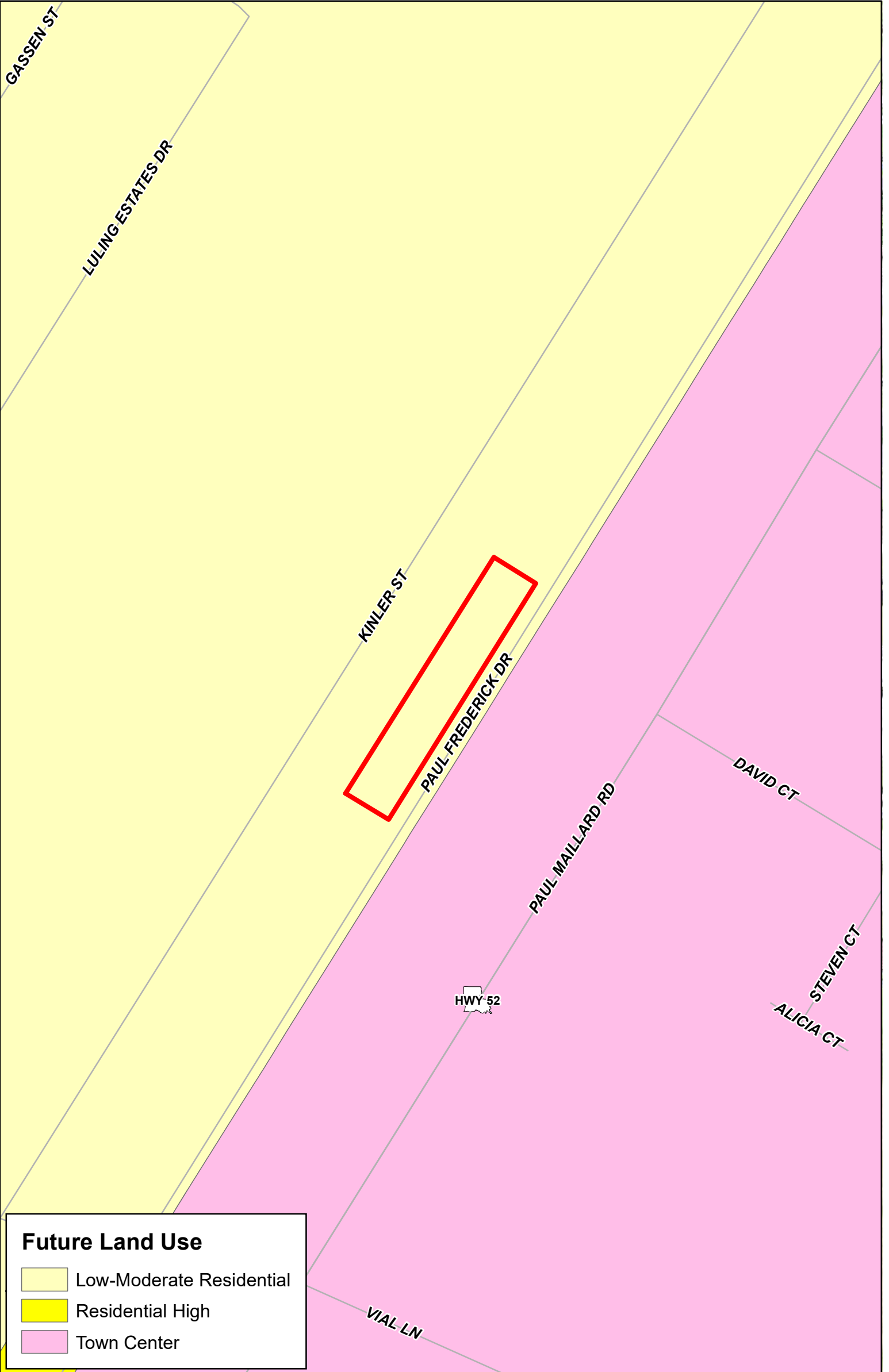
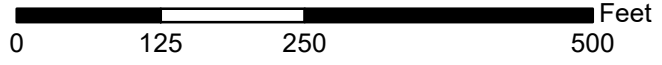


2024-2-R
R-1A(M) to R-2



ZONING	
	C1
	C2
	C3
	CR1
	MS
	R1A
	R1AM
	R1M
	R2

2024-2-R
R-1A(M) to R-2





St. Charles Parish
Department of Planning & Zoning
 14996 River Rd / P.O. Box 302 • Hahnville, LA 70057
 Phone (985) 783-5060 • Fax (985) 783-6447
 www.stcharlesparish-la.gov

Permit/Case #:	2024-2-R
Receipt #:	13011810
Application Date:	1/4/24
Zoning District:	R-1A(m)
FLUM Designation:	Low-Med
Date Posted:	

**APPLICATION FOR ZONING MAP AMENDMENT
 (CHANGE OF ZONING DISTRICT OR REZONING)**

Fee: \$40 - \$200

Applicant: Alvin Gordon III
 Home address: 9512 Linden Loop Westwego LA 70094
 Mailing address (if different): same
 Phone #s: 504-236-5112 Email: goodguyfinishing@hotmail.com
 Property owner: Alvin Gordon III
 Municipal address of property: 1014-1024 Paul Frederick St. Luling LA 70070
 Lot, block, subdivision: lots 47, 48, 49, 50, 51, 52 BLDG, SEC 1, Oak Ridge Park subd.
 Change of zoning district from: R1 to: R2 - Two Family Residential
 Future Land Use designation of the property: Low To Moderate Residential Duplexes
 (A fact sheet on Future Land Use designations is available at the Planning and Zoning Department).

Your written responses below will be forwarded to the Planning and Zoning Commission and Parish Council to help them make a determination on the merits of your request.

Describe how you plan to use the property if the rezoning is granted: if the rezoning is granted my wife and I plan to develop and build new construction duplexes to provide rental housing to the community.

What types of activities occur on adjacent properties today? How is your proposed use compatible with the neighborhood? The properties that are adjacent to lots are rental properties, 2 residential, 1 residential some vacant homes as well as mobile homes. Since this neighborhood is mixed and primarily an rental home area we believe that our duplexes will be compatible as they will provide more rental opportunities that will enhance this community.

Is there something about the property or the surrounding neighborhood that make the rezoning necessary? Recently it has been very difficult for a lot of people to become home owners with interest rate, taxes, and insurance at an all time high. Because of this, people within this community have expressed that there isn't enough rental homes with in the area. Rezoning the property will allow us to provide more units that are new and safe to rent.

How does your proposed use of the property comply with the Future Land Use designation for the property? our proposed use of the property of Low To Moderate Residential includes: single family, duplexes, and townhomes. Since we plan to build duplexes our future use complies with Low To Moderate Residential standards.

If the property is rezoned, but your project does not develop, explain how other uses allowed in the new zoning district are compatible with the existing neighborhood? A list of allowed uses is available at the Planning and Zoning Department. Since the existing neighborhood is primarily mixed rental housing if our property is rezoned to R2 that still includes single family dwellings which the neighborhood already have as well.

Alvin Gordon III

9512 Linden Loop Westwego, LA 70094

Phone: 504-236-5112

Email: goodguyfinishing@hotmail.com

1/4/2024

To: St. Charles Parish Planning & Zoning

14996 River Rd. Hahnville LA 70057

Phone: 985-783-5060

I Alvin Gordon III, wrote this letter of intention to add to my application to rezone the area where my lots are located. My wife and I would like to develop duplexes to provide improvements to the empty lots and help the community by adding more new and safe homes for people to rent.

However, in order for us to be able to build the duplexes, once we have the approval for the R2-Two family residential we will also need to resub-divide our 6 lots into 5 lot to make sure that we are within range to build the particular structures.

If rezoning is granted, our ultimate goal is to enhance and improve this existing rental community by building new construction rental housing on the vacant lots, that are safe and inviting. We have heard from many people in the area who've expressed that the area is lacking more rental housing for those who are unable to purchase a home.

With the community in mind, providing more rental housing in the area will accomplish the goal of promoting neighborhood stability, enhancing while balancing the neighborhood aesthetics, increasing property values from the new construction aspect and create a safe harmonious residential environment.

Please consider our request to rezone.

Thank You,



Alvin Gordon III



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0087 **Version:** 1 **Name:** R-1A(M) to R-3 on Lots D-1 and D-2, Square 14, 315-317 Smith Street and 212 Highway 3160, Hahnville as requested by Troy A. Bailey

Type: Ordinance **Status:** Introduced For Public Hearing

File created: 2/19/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: An ordinance to amend the St. Charles Parish Zoning Ordinance of 1981, to change the zoning classification from R-1A(M) to R-3 on Lots D-1 and D-2, Square 14, 315-317 Smith Street and 212 Highway 3160, Hahnville as requested by Troy A. Bailey.

Sponsors: Matthew Jewell, Department of Planning & Zoning

Indexes:

Code sections:

Attachments: [2024-0087 RECOMMENDATIONS AT A GLANCE](#)
[2024-0087 Minutes](#)
[2024-0087 Staff Report](#)
[2024-0087 RPlat \(D-1, D-2\)](#)
[2024-0087 AERIAL](#)
[2024-0087 ZONING](#)
[2024-0087 FLUM](#)
[2024-0087 Application1](#)

Date	Ver.	Action By	Action	Result
2/19/2024	1	Parish President	Introduced	
2/1/2024	1	Planning Commission	Recommended	Approval
2/1/2024	1	Department of Planning & Zoning	Recommended	Denial
12/22/2023	1	Department of Planning & Zoning	Received/Assigned	PH

RECOMMENDATIONS AT A GLANCE

2023-17-R requested by Troy Bailey for a change of zoning from R-1A(M) to R-3 on Lots D-1 and D-2, Square 14, Village of Hahnville, 212 Hwy 3160 and 315-317 Smith Street, Hahnville. Council District 1.

Planning Department Recommendation:

Denial.

Planning Commission Recommendation:

Approval.

2023-17-R requested by Troy Bailey for a change of zoning from R-1A(M) to R-3 on Lots D-1 and D-2, Square 14, Village of Hahnville, 212 Hwy 3160 and 315-317 Smith Street, Hahnville. Council District 1.

Mr. Welker - The proposed rezoning conforms to the land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zoning that is incompatible with the surrounding neighborhood.

The subject site is within an area designated Low-to-Moderate Residential, which anticipates development of those residential uses typically permitted in the R-1A, R-1B, and R-1A(M) zoning districts. The designation does recommend for residential development at moderately higher densities in the form of duplexes, patio/zero-lot line homes, townhomes, and accessory units. But those examples are more closely related to and more easily integrated with the housing types typically permitted in the single-family districts. The typical multi-family development permitted under the proposed R-3 district does not conform to this designation. The limited extent of this request coupled with the lack of significant R-3 districts in the area also makes this a spot zone. The request does not meet the first guideline.

The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property and the proposed zoning does.

The most significant changes affecting the land-use pattern/character of the area occurred in the 1980s, when approval of two large area rezonings established nearly all of the R-1A(M) that exists in Hahnville (PZR-1982-17A, Ord. No. 82-12-4; Ord. No. 84-7-6). These districts were focused primarily along Smith Street, and Sycamore Street between Smith Street and Lincoln Street. The portion of the subject site resubdivided into Lot D-1 was part of the 1982 change. Lot D-2 was rezoned to R-1A(M) with an individual rezoning request in 2007 (PZR-2007-05, Ord. No. 07-5-10).

Currently the most notable development in this area of Hahnville has come in the form of infill development of new site-built single-family homes. Department permit data shows 16 permits for new site-built single-family since 2013, with 11 of those permits dating from 2020-2023. This reinforces the established land-use pattern/character of the area and indicates the existing zoning on the subject site is reasonable, as R-1A(M) supports the potential for similar infill development. The request does not meet the second guideline.

Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.

Multi-family development in the vicinity is limited to the St. Charles Parish Housing Authority site on Sunset Court which is currently zoned R-1A (a non-conforming use). Other instances of multi-family sites are limited, and the single-family neighborhood character of the area is predominant.

Adjacency to Highway 3160 and the potential for traffic movement from the highway, into, and around the site via Smith St. and Sycamore St. provide potentially favorable access to a multi-family site at the edges of the neighborhood and would not be strictly incompatible with the area.

Parish representatives stated existing water and wastewater infrastructure would not be overburdened by those uses permitted under R-3 zoning. Drainage impact would not be determined until a proposed plan is submitted following a rezone approval. The request meets the third guideline.

The department recommends denial, due to not meeting two of the three rezoning criteria.

Commissioner Petit- thank you Chris, I have a question before the applicant. Have we done any work on analysis on the square footage and what would be the maximum number of units? Do we know that? Or is that not looked at?

Mr. Welker – there is a limitation on the maximum number of units, I believe it's 2500 sq. ft. per family, so the size of the site is 21,000 sq. ft. so each lot remands its own space or whether it's combined your looking at 8.

Applicant – Troy Bailey 115 Pine St. Hahnville. First, I would like to say good evening. I'd like to thank God and the parish for this opportunity to speak. I used to work for St. Charles Parish, I'm proud to say I was a plant operator at the waster water treatment facility in Hahnville. In 2011 I was electrocuted with 13,800 volts of electricity at work. I have severe nerve damage in my body, the worse being in my hands and my feet I cannot even button the shirt I'm wearing. I thank God for my wife and my kids that gives 110 percent helping with the things I cannot do. I also suffer with traumatic stress disorder from high voltage. They carved the skin off my legs with razor blades to put on my body. I suffered beyond one's imagination, it took strength and faith God was with me. I realized it would be difficult for me to work and I would not be able to perform the duties of my job on a high level, being fearful of high voltage I decided to retire. I was really going through a lot, so I hired an attorney the attorney brought to my attention that St. Charles Parish held some liability, and he helped me to understand that if we followed the recommended guidelines in laws we would win in court, my response to him was sir, St. Charles Parish provided me a job and an opportunity to provide for my family that is something I'm not going to do. I made a decision not to follow the recommendations and guidelines of the attorney, only by the grace of God I stand before you today and I ask for your support and not to follow the recommendations and guidelines of the Planning and Zoning Department. In 2005, I purchased this property as an investment, it was full of trees, I cleaned it up and the parish allowed me to put 2 mobile homes on Smith St. and 1 on 3160. My family moved to St. Charles Parish when I was 5 years old, growing up in Flagville on a one way street me and my cousins use to ride our bikes to Hahnville, it was a big deal to us as little kids it was like going to a big city to us because it had many streets to ride our bikes, our first stop was Smith's grocery for snacks, Smith St. was always the only street in Hahnville where commerce was it had brick apartments which was an 8 plex, Mr. Stein Byrd had a bar, Mr. Clayton Byrd had a bar and a small grocery and a 6 plex apartment. At the end of Smith St. still standing today is government housing. At the very beginning of Smith St. is Birdie's Food Mart and Smith's grocery store still there today. As I stand before you today some might say you have to follow the recommendations and guidelines of the Planning and Zoning Department and the laws to make your decision. I'm asking you to do as I did and not follow

the recommendation and guidelines of the Planning and Zoning Department. I'm asking you to follow your heart, this property has a graveyard on the south side, it's less than 500 ft. Byrd's apartments, and less than 500 ft. from government housing, it has a double wide mobile home on the north side that's rental property. I spoke to the property owner on the west, she does not oppose. It has LA 3160 on the east side and all the property north and south of it is commercial. The numerous of mobile homes for rent on Smith St. and some land being rented. I rent to St. Charles Parish Housing Department, I spoke with Ms. Johnson about trying to build a building to add more units with one bedroom, maybe two, her response to me was Mr. Bailey that would truly be appreciated especially for the elders. I also research the 2030 St. Charles Parish Comprehensive Plan that states this is the St. Charles Parish 2030 Comprehensive Plan, this is page 33 it states multi family housing has continued to be concentrated in Luling, Destrehan, and Boutte since 2010 as previously mention the construction on multi family housing significantly lags behind single family homes although the 2023 Comprehensive Plan underscored the importance of parish accommodating more multi family housing as population shifts preference continue to favor it. The St. Charles Parish begun revitalization and investment efforts for some of it's older and declining communities in 2014. If Smith St. is not a good place to follow the revitalization and investment efforts and to continue the legacy and foundation of the Smith and Byrd families there is no better place than Hahnville that I can think of, thanks again for the opportunity for me to speak.

Commissioner Petit- one question before you leave. Can you talk a little bit about your plan? Do you have an idea yet of how many units you potentially planning to put?

Mr. Bailey – I was thinking about putting 3 on the 3160 and 3 on Smith St.

The public hearing was open and closed, no one spoke for or against.

Commissioner Price – so unless I'm missing something, tell me exactly what will be the composition of your properties, would it be triplexes.

Mr. Bailey – yes, triplexes on east side. It's 2 adjacent lots, one is adjacent to 3160 and the other is adjacent to Smith St. I don't have a um, I didn't invest in a blue print yet because I'm not sure what's going to happen, right now it's rental property I have 3 mobile homes on it, 2 on Smith St. 1 on 3160 and it's rental property right now. I didn't invest in a plan because I'm not sure if it's gonna pass I'm hoping that it does but it's not up to me.

Commissioner Ross made a motion to approve, seconded by Keen.

YEAS: Keen, Ross, Petit, Folsie, Jr., Krajcer, Jr.

NAYS: Price

ABSENT: Frangella

PASSED



Department of Planning & Zoning Staff Report – Map Amendment Case No. 2023-17-R

APPLICATION INFORMATION

- **Submittal Date:** 12/22/23
- **Applicant / Property Owner**
Troy A. Bailey
115 Pine Street
Hahnville, LA 70057
985.722.0367; trilandacannon@hotmail.com
- **Request**
Change of zoning:
 - Current - R-1A(M), Single Family Residential Detached Conventional Homes, Manufactured Homes, and Mobile Homes - Medium density
 - Proposed - R-3, Multi-family Residential

SITE INFORMATION

- **Location**
Lots D-1 and D-2, Square 14, Hahnville; municipal address 315-317 Smith Street (Lot D-1) and 212 Hwy. 3160 (Lot D-2), Hahnville
- **Size:** 21,080 sq. ft. (0.48 acres)
- **Current Use:**
Lot D-1 is developed with two manufactured homes; Lot D-2 is developed with one manufactured home.
- **Surrounding Zoning**
Surrounding zoning includes R-1A(M) focused along Smith Street and R-1A focused along Hwy. 3160.
- **Surrounding Uses**
The surrounding area consists primarily of single family homes, both site-built and manufactured. A cemetery abuts Lot D-2.
- **Zoning History**
The R-1A(M) zoning on Lot D-1 was changed from R-1A with approval of an area wide rezoning in 1982 (PZR-1982-17A, Ord. No. 82-12-4).

The R-1A(M) zoning on Lot D-2 was changed from R-1A with approval of a rezoning request in 2007 (PZR-2007-05, Ord. No. 07-5-10).
- **Future Land Use Recommendation**
Low-to-Moderate Residential: Single-family detached dwellings; attached dwellings such as duplexes, patio/zero-lot line homes and townhomes; and accessory units. Neighborhood retail, services, offices and institutions are also permitted in appropriate locations such as along transportation corridors or at intersections. (over six dwellings per acre).

Recommended Zoning Districts: R-1A (6,000 sf. min. lot size), R-1B (10,000 sf. min. lot size), R-1AM (accessory units and individual mobile homes)
- **Flood Zone & Minimum Building Elevation**
1992 Flood Insurance Rate Map: X zone
2013 Digital Flood Insurance Rate Map: X

▪ **Traffic Access**

Lot D-1 has 68 ft. of frontage and driveway access on Smith Street. Lot D-2 has 68 ft. of frontage and driveway access on Hwy. 3160.

▪ **Utilities**

The representative with the Department of Waterworks stated a 10 inch water line runs along the Hwy. 3160 frontage and a 6 inch water line runs along the Smith Street frontage, and there are no issues regarding water.

The representative from the Department of Public Works stated they see no issues with wastewater impact, and drainage impact would have to be determined upon review of subsequent detailed development plans.

APPLICABLE REGULATIONS

Appendix A. Section VI. – Zoning District Criteria and Regulations

[VIII.] *R-3. Multi-family residential:*

1. Use Regulations:
 - a. A building or land shall be used only for the following purposes:
 - (1) All uses allowed in the R-2 district.
 - (2) Multi-family dwellings.
 - (3) Boarding and lodging houses.
 - (4) Townhouses (see Section VII for Supplemental Use and Performance regulations).
 - b. Special exception uses and structures: As approved by the Planning and Zoning Commission only:
 - c. Special permit uses and structures:
 - (1) Supplemental C-1 and C-2 uses.
 - (2) *Reserved*.
 - (3) Private commercial access roads, upon review by the Planning Commission and supporting resolution of the Council.
2. Spatial Requirements:
 - a. Minimum lot size: Ten thousand (10,000) square feet; minimum width - sixty (60) feet; two thousand five hundred (2,500) square feet per family.
 - b. Minimum yard requirements:
 - (1) Front - twenty (20) feet
 - (2) Side - ten (10) feet
 - (3) Rear - twenty (20) feet.
 - (4) Whenever property abuts a major drainage canal as defined by the Subdivision regulations the required setback for all structures shall be ten (10) feet measured from the inner boundary of such servitude or right-of-way, notwithstanding any other more restrictive setbacks, this provision shall not apply to any lot of record created and existing prior to the effective date of Ordinance No. 99-12-8, December 15, 1999.
 - c. Maximum land coverage: Eighty (80) percent (twenty (20) percent green space).
 - d. Accessory buildings:
 - (1) Accessory buildings shall be of one story construction not to exceed sixteen (16) feet in height.
 - (2) Accessory buildings shall be located on the same parcel of land as the main structure.
 - (3) Nonresidential accessory buildings shall not be permitted.
 - e. Permitted encroachments:
 - (1) Overhangs projecting not more than twenty-four (24) inches, excluding gutter.
 - (2) Stairs and landings not more than three (3) feet in height, projecting no more than four (4) feet into required front or rear yard.
3. Transportation System: Servitude of access, local, or collector street.
4. Special Provisions:
 - a. Where any multi-family residential district (R-3) abuts any residential zoning district or use, a six-foot-high solid wood fence or masonry wall shall border the same and there shall be a buffer strip ten (10) feet wide designated and maintained on the site planted with plant materials acceptable for buffer zones.

Appendix A. Section XV. - Amendment procedure

D. Rezoning guidelines and criteria: The proponent for a change should present reasonable factual proof that two or more of the following criteria are met:

1. The proposed rezoning conforms to land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zone that is incompatible with the surrounding neighborhood.
2. The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property, and that the proposed zoning does. In order to determine what is reasonable use of the property, the proponent for the zoning change should consider one or more of the following:
 - a. Consideration of uses on adjacent properties that would limit the use of the site under consideration.
 - b. Consideration of unique or unusual physical or environmental limitations due to size, shape, topography or related hazards or deficiencies.
 - c. Consideration of changes in land value, physical environment or economic aspects which can be shown to limit the usefulness of vacant land or buildings.
3. Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.

The Planning Staff shall base rezoning analyses on these criteria but shall not be prohibited from factoring unique circumstances of the application into the analysis. The Planning and Zoning Commission may state in its recommendations to the Council: its concurrence with, or rejection of, any or all of the proponents' case for the suggested amendment, and/or its position relative to proponents' statements on the case. Planning Staff analyses and recommendations shall be forwarded to the Council along with the Commission's recommendations.

- E. Rezoning approval criteria: Before the Council votes to approve a rezoning, there should be reasonable factual proof by the applicant that:
1. The proposed map amendment is in compliance, or is not in conflict, with the goals and recommendations of the St. Charles Parish Comprehensive Plan and Future Land Use Map, also
 2. The proposed map amendment does not negatively impact the health, safety, and welfare of the community.

REZONING GUIDELINE & CRITERIA EVALUATION

1. *The proposed rezoning conforms to the land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zoning that is incompatible with the surrounding neighborhood.*

The subject site is within an area designated *Low-to-Moderate Residential*, which anticipates development of those residential uses typically permitted in the R-1A, R-1B, and R-1A(M) zoning districts. The designation does recommend for residential development at moderately higher densities in the form of duplexes, patio/zero-lot line homes, townhomes, and accessory units. But those examples are more closely related to and more easily integrated with the housing types typically permitted in the single-family districts. The typical multi-family development permitted under the proposed R-3 district does not conform to this designation. The limited extent of this request coupled with the lack of significant R-3 districts in the area also makes this a spot zone. **The request does not meet the first guideline.**

2. *The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property and the proposed zoning does.*

The most significant changes affecting the land-use pattern/character of the area occurred in the 1980s, when approval of two large area rezonings established nearly all of the R-1A(M) that exists in Hahnville (PZR-1982-17A, Ord. No. 82-12-4; Ord. No. 84-7-6). These districts were focused primarily along Smith Street, and Sycamore Street between Smith Street and Lincoln Street. The portion of the subject site resubdivided into Lot D-1 was part of the 1982 change. Lot D-2 was rezoned to R-1A(M) with an individual rezoning request in 2007 (PZR-2007-05, Ord. No. 07-5-10).

Currently the most notable development in this area of Hahnville has come in the form of infill development of new site-built single family homes. Department permit data shows 16 permits for new site-built single-family since 2013, with 11 of those permits dating from 2020-2023. This reinforces the established land-use pattern/character of the area and indicates the existing zoning on the subject site is reasonable, as R-1A(M) supports the potential for similar infill development. **The request does not meet the second guideline.**

3. *Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.*

Multi-family development in the vicinity is limited to the St. Charles Parish Housing Authority site on Sunset Court which is currently zoned R-1A (a non-conforming use). Other instances of multi-family sites are limited, and the single-family neighborhood character of the area is predominant.

Adjacency to Highway 3160 and the potential for traffic movement from the highway, into, and around the site via Smith St. and Sycamore St. provide potentially favorable access to a multi-family site at the edges of the neighborhood and would not be strictly incompatible with the area.

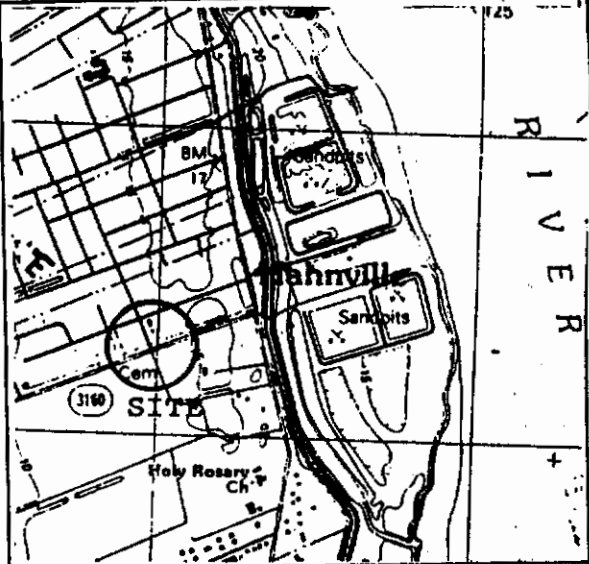
Parish representatives stated existing water and wastewater infrastructure would not be overburdened by those uses permitted under R-3 zoning. Drainage impact would not be determined until a proposed plan is submitted following a rezone approval. **The request meets the third guideline.**

DEPARTMENT RECOMMENDATION

Denial, due to not meeting two of the three rezoning criteria.

This request will be forwarded with the Planning Commission's recommendation to the Parish Council for a second public hearing and final determination.

This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found that the surveyed property as shown hereon is not in a special flood hazard area. The property lies in a Zone X as per sheet 150 of said maps, having an effective date of June 16, 1992.



APPROVALS:

M. M. [Signature]
 CHAIRMAN, PLANNING & ZONING COMMISSION

5-3-07
 DATE

Albert O. Legu
 ST. CHARLES PARISH PRESIDENT

5/25/2007
 DATE

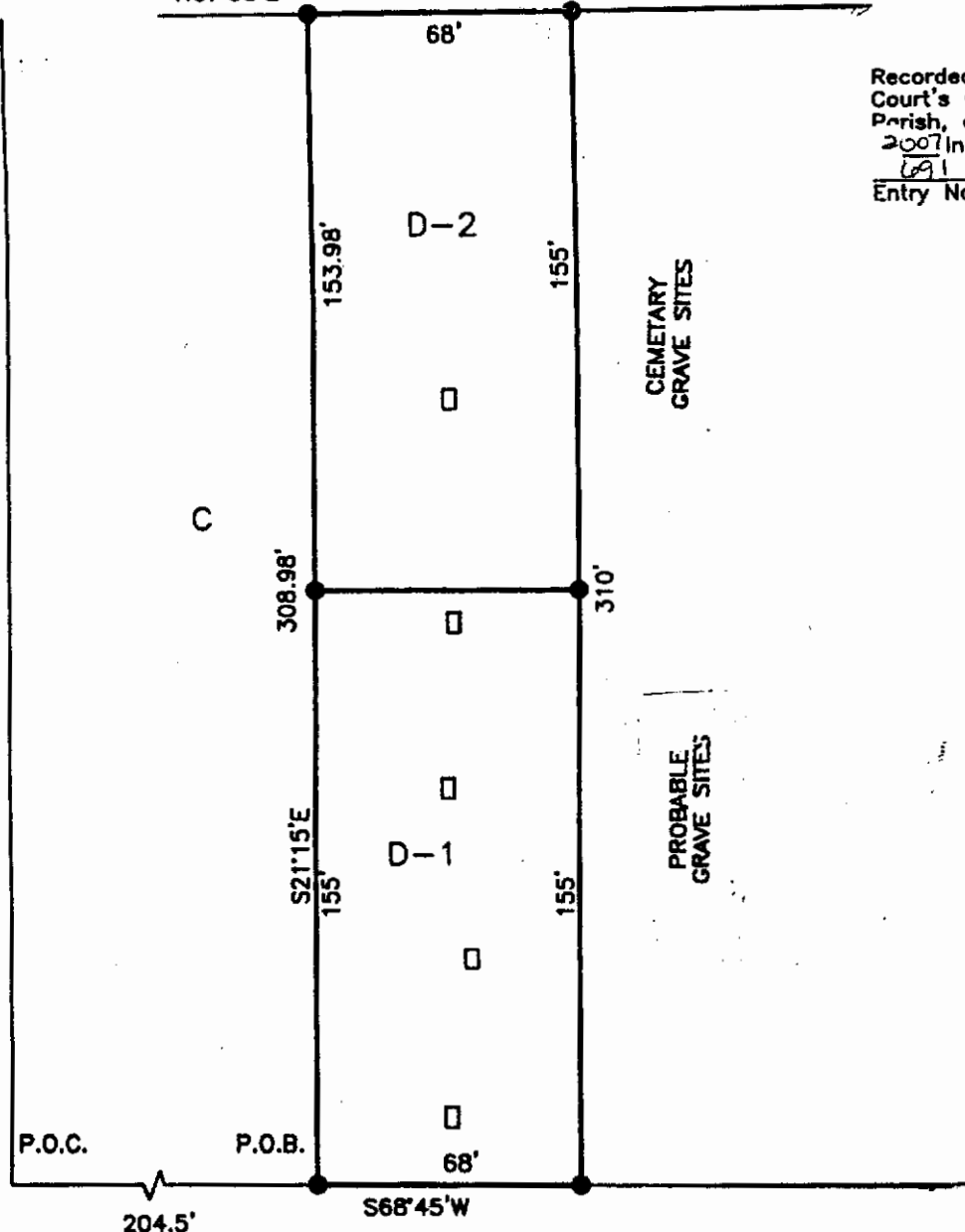
LA. HWY. #3160

VICINITY MAP
 SCALE: 1"=2000'

N67°58'E

Recorded in the Clerk of Court's Office, St. Charles Parish, on the 30 day of May 2007 in Conveyance Book 691 Folio 528. Entry No. 331366.

SYCAMORE ST. (FORMERLY DOSTIE)



CEMETARY GRAVE SITES

PROBABLE GRAVE SITES



SMITH ST. (FORMERLY MORGAN)

SURVEY AND SUBDIVISION OF LOT D SQUARE 14 OF HAHNVILLE INTO LOTS D-1 & D-2 LOCATED IN SECTIONS 3 AND 23 TOWNSHIP 13 SOUTH RANGE 20 EAST, ST. CHARLES PARISH, LA.

- : DENOTES SEWAGE CONNECTION
- : DENOTES 1/2" IRON ROD FOUND
- : DENOTES 1/2" IRON ROD SET

THIS SURVEY WAS PERFORMED BY MYSELF OR UNDER MY DIRECT SUPERVISION AND CONTROL

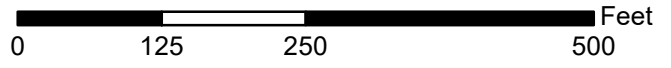
SURVEYED IN ACCORDANCE WITH THE LOUISIANA "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS "C" SURVEY.

R.P. Bernard
 SURVEYOR

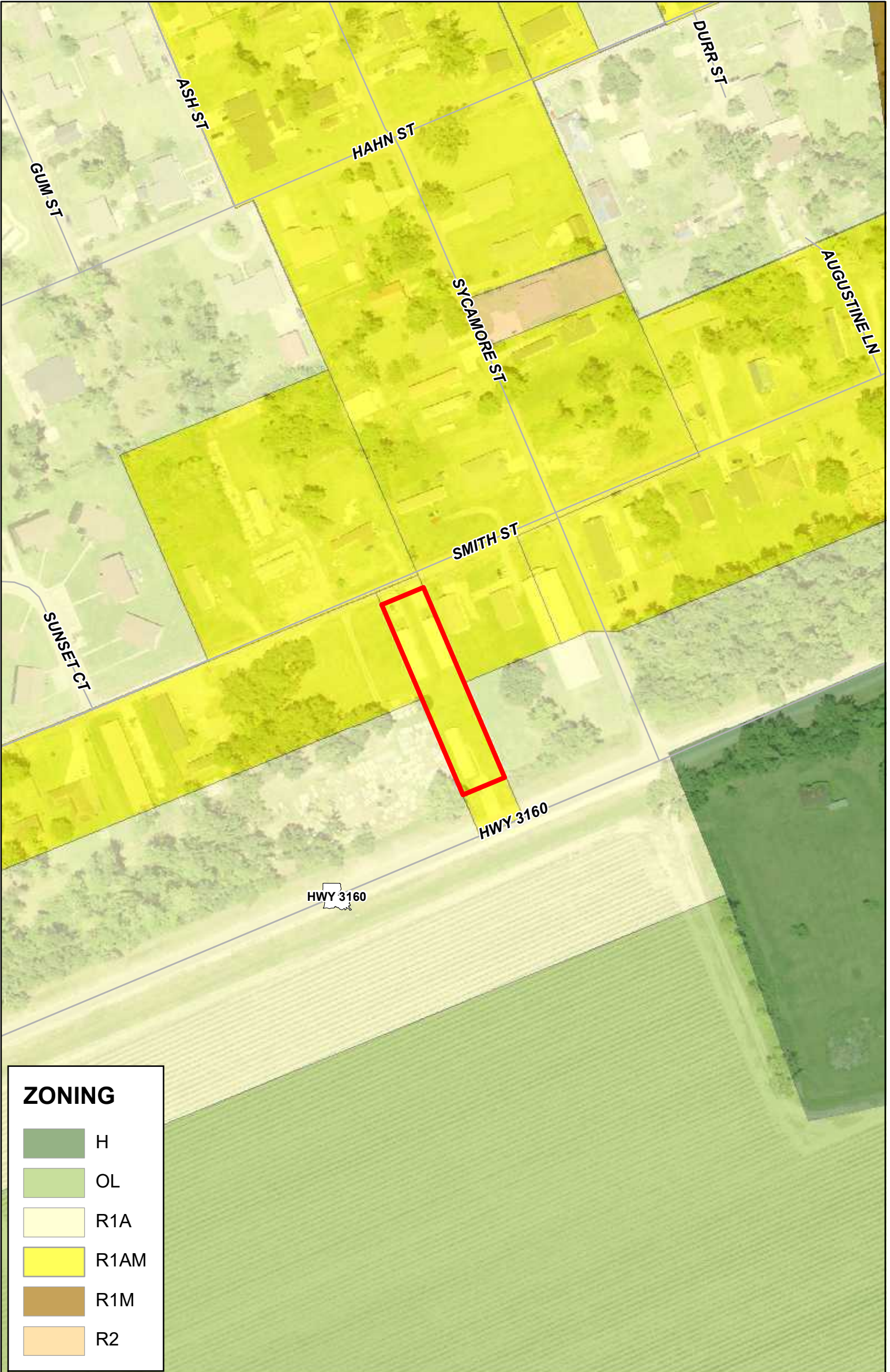
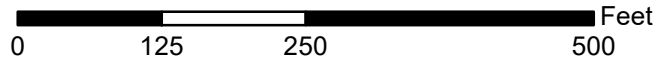
R.P. BERNARD, PLS
 LA. REG. #226
 P.O. BOX 402, BOUTTE, LA.







FILE #	06S014
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DATE:	6/8/06

2023-17-R
R-1A(M) to R-3

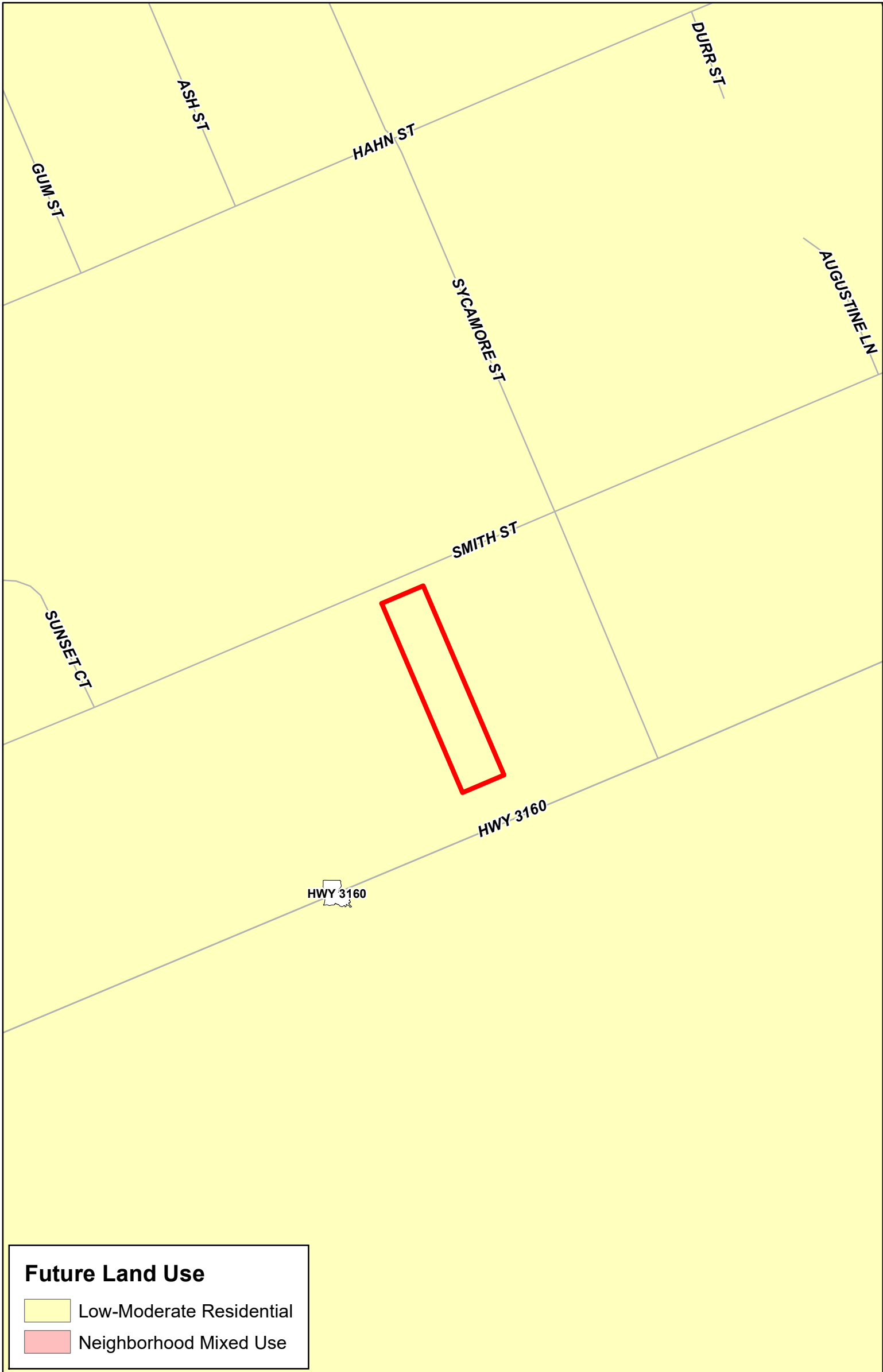
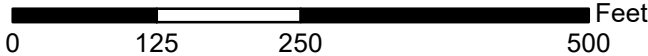


2023-17-R
R-1A(M) to R-3





ZONING	
	H
	OL
	R1A
	R1AM
	R1M
	R2

2023-17-R
R-1A(M) to R-3



Future Land Use

-  Low-Moderate Residential
-  Neighborhood Mixed Use



St. Charles Parish
Department of Planning & Zoning
 14996 River Rd / P.O. Box 302 • Hahnville, LA 70057
 Phone (985) 783-5060 • Fax (985) 783-6447
 www.stcharlesparish-la.gov

Permit/Case #:	2023-17-R
Receipt #:	13001141
Application Date:	12/22/23
Zoning District:	R-1A(m)
FLUM Designation:	Low-Med
Date Posted:	

**APPLICATION FOR ZONING MAP AMENDMENT
 (CHANGE OF ZONING DISTRICT OR REZONING)**

Fee: \$40 - \$200

Applicant: Troy A Bailey

Home address: 115 Pine St. Hahnville, LA 70057

Mailing address (if different): _____

Phone #s: 985 722 0367 Email: tristanda cannon@hotmail.com

Property owner: Troy A. Bailey

Municipal address of property: 212 Hwy 3160 & 315 SmithSt and 317 Smith St. Hahnville LA 70057

Lot, block, subdivision: D-2 and D-1

* Change of zoning district from: RM to: R3

Future Land Use designation of the property: Multi family rental property

* (A fact sheet on Future Land Use designations is available at the Planning and Zoning Department).

Your written responses below will be forwarded to the Planning and Zoning Commission and Parish Council to help them make a determination on the merits of your request.

Describe how you plan to use the property if the rezoning is granted: _____

The property will continue to be used as housing rentals. The property will be converted from mobile home rentals to a wood structure.

2 What types of activities occur on adjacent properties today? How is your proposed use compatible with the neighborhood?

Adjacent properties are used as rental property and a graveyard. The property in its existing state is currently used as rental housing.

11 Is there something about the property or the surrounding neighborhood that make the rezoning necessary? The

rezoning will create stable and more affordable housing necessary for the lack of multi family housing in the area.

How does your proposed use of the property comply with the Future Land Use designation for the property? The

proposed use complies with the Future Land use by providing multi-family housing as per the St. Charles Parish 2023 Comprehensive plan where the parish states this type of housing is important and the population favors it. See pg. 33 of the 2023 Comprehensive Plan for exact wording.

If the property is rezoned, but your project does not develop, explain how other uses allowed in the new zoning district are compatible with the existing neighborhood? A list of allowed uses is available at the Planning and Zoning Department.

I pray the project does develop, but if it does not, the new zoning will not change the existing neighborhood character as the property will continue to be used as a rental.



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0088 **Version:** 1 **Name:** O-L to R-1M and M-1 on Lot 19, Pecan Grove Plantation Subdivision, 12320 River Road, Destrehan as requested by Anna Nelson for DNA Real Estate, LLC.

Type: Ordinance **Status:** Introduced For Public Hearing

File created: 2/19/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: An ordinance to amend the St. Charles Parish Zoning Ordinance of 1981, to change the zoning classification from O-L to R-1M and M-1 on Lot 19, Pecan Grove Plantation Subdivision, 12320 River Road, Destrehan as requested by Anna Nelson for DNA Real Estate, LLC.

Sponsors: Matthew Jewell, Department of Planning & Zoning

Indexes:

Code sections:

Attachments: [2024-0088 RECOMMENDATIONS AT A GLANCE](#)
[2024-0088 Minutes](#)
[2024-0088 Staff Report](#)
[2024-0088 Site Plan with Zoning](#)
[2024-0088 AERIAL](#)
[2024-0088 ZONING](#)
[2024-0088 FLUM](#)
[2024-0088 Application 1](#)
[2024-0088 Survey](#)

Date	Ver.	Action By	Action	Result
2/19/2024	1	Parish President	Introduced	
2/1/2024	1	Planning Commission	Recommended	Approval
2/1/2024	1	Department of Planning & Zoning	Recommended	Approval
12/29/2023	1	Department of Planning & Zoning	Received/Assigned	PH

RECOMMENDATIONS AT A GLANCE

2024-3-R requested by Anna Nelson for DNA Real Estate, LLC for a change of zoning from O-L to R-1M and M-1 on an approximately 8.5 acre portion of Lot 19, Pecan Grove Plantation, 12320 River Road, Destrehan. Council District 2.

Planning Department Recommendation:

Approval.

Planning Commission Recommendation:

Approval.

2024-3-R requested by Anna Nelson for DNA Real Estate, LLC for a change of zoning from O-L to R-1M and M-1 on an approximately 8.5 acre portion of Lot 19, Pecan Grove Plantation, 12320 River Road, Destrehan. Council District 2.

Mr. Welker - The proposed rezoning conforms to the land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zoning that is incompatible with the surrounding neighborhood.

The subject site is designated Low-to-Moderate Residential, which anticipates development of those residential uses typically permitted in the R-1A, R-1B, and R-1A(M) zoning districts. The proposed R-1M district is considered under the High-Density Residential FLUM designation, and the proposed M-1 district is considered under the Industrial FLUM designation. Neither district conforms to the land development pattern established by the comprehensive plan. The proposed zoning would not be considered a spot zone as it covers a large area (8.34 acres) and would expand adjacent R-1M and M-1 districts. But conformance with the comprehensive plan takes precedence over not being a spot zone as part of the Department's analysis. The request does not meet the first guideline.

The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property and the proposed zoning does.

The existing O-L zoning has been in place since the St. Charles Parish Zoning Ordinance of 1981. While able to be used primarily for agricultural or low-density residential purposes, the policy statement of the Open Land zoning district states "It is intended that land in these districts will be reclassified to its appropriate residential, commercial or industrial category in accordance with the amendment procedure set forth in the St. Charles Parish Code."

The subject site is located on a stretch of River Road bookended by the IMTT and Bunge facilities. Development within this stretch is limited, with the most notable improvements being dedication of the Oaklawn Ridge Subdivision in 2000 (Ord. 00-12-8), and permitting of the Nelson RV Park in 2016 (Permit No. 29955). The Nelson RV Park was developed upon approval of a similar rezoning to R-1M and M-1 approved in 2015 (PZR-2015-04; Ord. 15-3-5). This development, along with the corresponding M-1, is representative of a shifting land-use pattern/character within an area that has limited development options given the proximity to major industrial developments. A smaller and older RV park is also located nearby on Christina Lane. The proposed R-1M and M-1 districts is a reasonable and appropriate change for the area as per the O-L policy statement. The request meets the second guideline. Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.

The R-1M zoning district is specific to the permitting of Manufactured Home Parks and RV Parks. This is consistent with the neighborhood character which includes the Nelson RV Park immediately adjacent to the subject site and the Christina Mobile Home Park less than 200 ft. downriver. The proposed M-1 zoning would be located next to the existing M-1 district and industrial use established

in 2015, and would also be compatible with the neighborhood character established by the adjacent property.

Regarding infrastructure, as per the Utilities section of this report the Director of Wastewater stated existing sewer facilities in this area could not handle the development potential permitted with this zoning change (possibly 121 RV slots as per a preliminary site plan). Upgrades to the downstream lift station would be required. While this means current wastewater infrastructure would be “overburdened”, if the rezoning is approved an RV Park could not be placed without going through the full development review/permitting process. As part of that process the developer must work with the Department of Wastewater regarding necessary improvements to ensure infrastructure can handle the increased impact prior to starting development. Because the issues are known and there are processes in place to address them prior to development, the Department can consider this item met. The request meets the third guideline.

Approval, based on meeting the first and third rezoning criteria.

Applicant – Glen Nelson 12246 River Road St. Rose. Yes as far as the first guideline we only have one permanent resident in this area the left of us has been bought out by Bunge except for a few lots, there’s us with the RV Park, then we purchased the property in the middle, then there is Christina RV Park and Mr. Randy is the only resident, then on the other side of that is 2 gas lines and a pipeline so the chances for future development there slim to none. The M1 part is just my yard where we park our equipment behind our shop we are just adding on to the back of that if anyone had a question about that and the, as far as the waste water when we built this section the first section they collected, they told me that had to change a pump in the lift station they would have to upgrade it so I’m negotiable with that but I just want to say the first section we built we spent I think it was over 40,000 in sewage impact fees and with this section I’m sure it’s went up you talking 80 to 100 grand they collected just from us so upgrading a pump in a lift station is going to be a big deal, in my opinion.

Commissioner Petit – you are prepared to work with wastewater to sort that out before you would be issued a permit.

Mr. Nelson – yes, but I’m just bringing that out I’ll already be giving them a 100 grand just from that first time and this time if the prices were the same from when we built the first place, so and that’s just from one person, that’s from me, so and we don’t have any wastewater problems I don’t know where that’s coming but I don’t know what else it feeds but we don’t have any issues we have our own lift station there force main to the front but I’ve never heard of a problem there I don’t know where that’s coming from but we are willing to work with them.

Commissioner Petit - Thank you and that’s something we wouldn’t be able to answer, but that’s part of the process but you would have to sit down with them.

Mr. Nelson – Thank you.

The public hearing was open and closed, no one spoke for or against.

Commissioner Price made a motion to approve, seconded by Keen.

YEAS: Price, Keen, Ross, Petit, Folse, Jr., Krajcer, Jr.

NAYS: None

ABSENT: Frangella

PASSED

Lane. The proposed R-1M and M-1 districts is a reasonable an appropriate change for the area as per the O-L policy statement. The request meets the second guideline.

Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.

The R-1M zoning district is specific to the permitting of Manufactured Home Parks and RV Parks. This is consistent with the neighborhood character which includes the Nelson RV Park immediately adjacent to the subject site and the Christina Mobile Home Park less than 200 ft. downriver. The proposed M-1 zoning would be located next to the existing M-1 district and industrial use established in 2015, and would also be compatible with the neighborhood character established by the adjacent property.

Regarding infrastructure, as per the Utilities section of this report the Director of Wastewater stated existing sewer facilities in this area could not handle the development potential permitted with this zoning change (possibly 121 RV slots as per a preliminary site plan). Upgrades to the downstream lift station would be required. While this means current wastewater infrastructure would be “overburdened”, if the rezoning is approved an RV Park could not be placed without going through the full development review/permitting process. As part of that process the developer must work with the Department of Wastewater regarding necessary improvements to ensure infrastructure can handle the increased impact prior to starting development. Because the issues are known and there are processes in place to address them prior to development, the Department can consider this item met. The request meets the third guideline.

Approval, based on meeting the first and third rezoning criteria.

This request will be forwarded to the Parish Council for a second public hearing with the Planning Commission’s recommendation.



Department of Planning & Zoning Staff Report – Map Amendment Case No. 2024-3-R

APPLICATION INFORMATION

- **Submittal Date:** 12/29/23
- **Applicant / Property Owner**
Anna Nelson
DNA Real Estate, LLC
12350 River Road
St. Rose, LA 70087
504-451-2368; nelsonbros@cox.net
- **Request**
Change of zoning:
 - Current - O-L, Open Land
 - Proposed - R-1M, Manufactured home/recreational vehicle (RV) park (7 acres) AND M-1, Light manufacturing and industry district (1.34 acres)

SITE INFORMATION

- **Location**
Lot 19, Pecan Grove Plantation Subdivision; 12320 River Road, Destrehan
- **Size:** approximately 363,290 sq. ft. (8.34 acres)
- **Current Use:** undeveloped and wooded
- **Surrounding Zoning**
B-2 zoning is located to the River Road side; M-1 zoning is located to the CN Railroad side; O-L zoning is adjacent to the downriver side; R-1M and M-1 zoning is adjacent to the upriver side.
- **Surrounding Uses**
The downriver side consists of mostly undeveloped and wooded land, but a small RV Park is located on Christina Lane. The Nelson RV Park and DNR Group office and warehouse is adjacent to the upriver side.
- **Zoning History**
The O-L zoning was established in 1981.

The zoning over adjacent Lot 20-A that this request would expand on was established by rezoning in 2015 (PZR-2015-04; Ord. 15-3-5)

- **Future Land Use Recommendation**
Low-to-Moderate Residential: Single-family detached dwellings; attached dwellings such as duplexes, patio/zero-lot line homes and townhomes; and accessory units. Neighborhood retail, services, offices and institutions are also permitted in appropriate locations such as along transportation corridors or at intersections. (over six dwellings per acre).

Recommended Zoning Districts: R-1A (6,000 sf. min. lot size), R-1B (10,000 sf. min. lot size), R-1AM (accessory units and individual mobile homes)

- **Flood Zone & Minimum Building Elevation**
1992 Flood Insurance Rate Map: X Zone
2013 Digital Flood Insurance Rate Map: X

- **Traffic Access**

Lot 19 has an 188.94 ft. frontage on River Road.

- **Utilities**

Parish GIS shows public sewer and water facilities located along River Road.

Drainage ditches are located along River Road, but drainage review would need to occur prior to development.

The Director of the Department of Wastewater stated there would be an issue with collection capacity at this location necessitating upgrades to the downstream lift station.

APPLICABLE REGULATIONS

Appendix A. Section VI. – Zoning District Criteria and Regulations

[IV.] *R-1M. Manufactured home/recreational vehicle (RV) park:*

Policy statement: This district is established to allow single-family residential usage of manufactured housing and recreational vehicles (RV) in a specially designed community or park with public and private amenities provided by the park developer as opposed to the park tenants. This district will allow a greater density of single-family residences to locate in an aesthetically pleasing environment by requiring certain spatial and buffer requirements.

1. Use Regulations:
 - a. A building or land shall be used only for manufactured home and RV parks and accessory uses.
 - b. Special exception uses and structures include clubhouses, laundry facilities, rental offices, managers' homes, and/or accessory recreational facilities for park residents only.
2. Special permit uses:
 - a. Include RV parks of one-half acre provided 1) the Special Provisions for RV Parks [subsection 4 below], other than the minimum site requirement, are met, and 2) the request receives review and approval by the Planning Commission and a supporting resolution of the Council.
 - b. Private commercial access roads, upon review by the Planning Commission and supporting resolution of the Council.
3. Spatial Requirements: Shall conform to the Manufactured Home Park or RV Park regulations and design standards outlined as Special Provisions [subsection 4] below.
 - a. Whenever property abuts a major drainage canal as defined by the Subdivision regulations the required setback for all structures shall be ten (10) feet measured from the inner boundary of such servitude or right-of-way, notwithstanding any other more restrictive setbacks, this provision shall not apply to any lot of record created and existing prior to the effective date of Ordinance No. 99-12-8, December 15, 1999.
4. Special Provisions: Shall conform to either the Manufactured Home Park of [or] RV Park regulations and design standards noted below as they pertain to the total park use.

Manufactured home park:

 - a. Location, space and general layout:
 - (1) The manufactured home park shall be located on a well-drained site [and] shall be so located such that its drainage will not endanger adjacent property and water supply.
 - (2) Any lot or portion of ground proposed to be used for a manufactured home park shall have sufficient frontage for construction of entrances and exits properly designed for safe movement of park traffic.
 - (3) Each manufactured home space shall contain a minimum of three thousand one hundred fifty (3,150) square feet, shall be at least thirty-five (35) feet wide and eighty (80) feet long, and shall have its boundaries clearly defined. The space shall abut on an access drive which shall have unobstructed access to a public street or highway.
 - (4) A patio slab of at least one hundred eighty (180) square feet shall be provided on each manufactured home lot and conveniently located at the entrance of each manufactured home.
 - (5) A minimum site of two (2) acres is required for a manufactured home park.
 - (6) Manufactured homes shall be parked on each space to conform to the following minimums:
 - (a) Twenty-five (25) feet clearance between coaches.
 - (b) Five (5) feet clearance between each coach and its respective site line.
 - (c) Ten (10) feet between coaches and any adjoining property lines.
 - (d) Twenty (20) feet between coaches and any public street right-of-way.
 - (e) Twenty-five (25) feet between coaches and any building or structure not used for accessory purposes.
 - (f) Accessory buildings must be a minimum of ten (10) feet from any manufactured home.
 - (g) Nonresidential accessory buildings shall not be permitted.
 - [b. Reserved.]
 - c. Parking: Sufficient paved parking shall be provided for the parking of at least one (1) motor vehicle for each manufactured home space plus an additional paved parking space for each three (3) lots to provide for guest parking for two (2) car tenants and for delivery and service vehicles.
 - d. Recreation: Not less than ten (10) percent of the gross area of the manufactured home park is to be set aside, designed, constructed and equipped as a recreational area. Recreation area design and equipment shall be approved by the St. Charles Parish Recreation Department Director.
 - e. Transportation system: All streets and access drives within the manufactured home park shall be constructed to required parish specifications as outlined in Subdivision Regulations [appendix C].
 - f. Sewage Disposal: Each manufactured home site shall be provided with a sanitary sewer connection, and each manufactured home park shall be provided with a collection and treatment system and public water supply in compliance with the standards of the Parish Health Unit and the State Health Department.
 - g. Garbage: If garbage hoppers are to be provided, then two (2) shall be provided for each twenty (20) manufactured home sites, and each hopper shall be screened from view by wood or masonry fencing.
 - h. Screen fences, walls and buffer screening: Fences should be installed where necessary for screening purposes such as around outdoor areas, laundry yards, refuse collection points and

playgrounds. A six (6) feet opaque fence or masonry wall shall border the park, and there shall be a buffer strip ten (10) feet wide designated and maintained on the site planted with plant materials acceptable for buffer zones.

- i. General: Individual manufactured home sites may be leased or rented but not subdivided or sold.
- j. All improvements required in this section must be completed prior to the placement of any manufactured home on the site.

RV Park:

- a. Location, space and general layout:
 - (1) The RV park shall be located on a well-drained site [and] shall be so located such that its [its] drainage will not endanger adjacent property and water supply.
 - (2) Any lot or portion of ground proposed to be used for an RV park shall have sufficient frontage for construction of entrances and exits properly designed for the safe movement of park traffic.
 - (3) Each RV space shall contain a minimum of fourteen hundred (1,400) square feet, shall be at least thirty-five (35) feet wide, and shall have its boundaries clearly defined. The space shall abut on a driveway.
 - (4) A minimum site of one (1) acre is required for an RV park.
 - (5) RV's shall be parked on each space to conform to the following minimums:
 - (a) Twenty-five (25) feet clearance between RV's.
 - (b) Five (5) feet clearance between each RV and its respective site line.
 - (c) Ten (10) feet between RV's and any adjoining property lines.
 - (d) Twenty (20) feet between RV's and any public street right-of-way.
 - (e) Twenty-five (25) feet between RV's and any building or structure not used for accessory purposes.
 - (f) Accessory buildings must be a minimum of ten (10) feet from any RV.
 - (g) Nonresidential accessory buildings shall not be permitted.
- b. Parking: Sufficient area shall be provided for the parking of at least one (1) motor vehicle for each RV space plus an additional car space for each three (3) lots to provide for guest parking, two (2) car tenants and for delivery and service vehicles.
- c. Transportation system:
 - (1) Streets and access drives: All streets and access drives within the RV park shall be constructed to required parish specifications as outlined in subdivision regulations [appendix C].
 - (2) Driveway: All driveways within the RV park shall be designed and surfaced with appropriate materials which will provide adequate and safe means of transit for park residents.
- d. Recreation: Not less than ten (10) percent of the gross area of the RV park is to be set aside, designed, constructed and equipped as a recreational area. Recreation area design and equipment shall be approved by the St. Charles Parish Recreation Department Director.
- e. Utilities: Each RV site shall be provided with a sanitary sewer connection, and each RV shall be provided with a collection and treatment system and public water supply in compliance with the standards of the Parish Health Unit and the State Health Department.
- f. Garbage: If garbage hoppers are to [be] provided, then two (2) shall be provided for each twenty (20) RV sites, and each hopper shall be screened from view by wood or masonry fencing.
- g. Screen fences, walls and buffer screening: Fences should be installed where necessary for screening purposes such as around outdoor areas, laundry yards, refuse collection points and playgrounds. A six (6) feet opaque fence or buffer strip ten (10) feet wide designated and maintained on the site planted with plant materials acceptable for buffer zones.
- h. General: Individual RV sites may be leased or rented but not subdivided or sold.
- i. All improvements required in this section must be completed prior to the placement of any RV on the site.

[I.] *M-1 Light manufacturing and industry district:*

- 1. Use Regulations: A building or land may be used for the following purposes if in accordance with the special provisions outlined below.
 - a. A building or land shall be used only for the following purposes:
 - (1) Those uses identified as items 2 through 27 as listed in the C-3 District.
 - (2) Office parks which shall include groups or clusters of administrative, professional, and other business offices as well as individual banks and restaurants.
 - (3) Agriculture and other general farming uses.
 - (4) Warehousing and storage of nonhazardous material.
 - (5) Assembly plants.
 - (6) Bottled gas sales and/or service.
 - (7) Food processing plants.
 - (8) Cellophane products manufacturing.
 - (9) Cold storage or refrigerating plants.
 - (10) Electrical parts manufacturing and assembly.
 - (11) Fiber products manufacturing (previously prepared fiber).
 - (12) Garment manufacturing.
 - (13) Glass products manufacturing.
 - (14) Ironwork (no foundry, drop hammer, and no punch presses over twenty (20) tons capacity).
 - (15) [Repealed by Ord. No. 92-1-1, § I, 1-21-92.]
 - (16) Leather products manufacturing (previously prepared leather).
 - (17) Commercial vehicle and heavy equipment sales and service.
 - (18) Millwork.
 - (19) Paint mixing and treatment (not employing a boiling process).
 - (20) Paper products manufacturing (previously prepared material).
 - (21) Plastic products manufacturing (previously prepared material).
 - (22) Sheet metal products manufacturing (light).
 - (23) Sign manufacture.
 - (24) Open storage of building material, lumber, machinery and pipe, provided the material is enclosed within a solid fence at least six feet high within required building lines when the storage area is adjacent to or across the street from an A, R, or C District.
 - (25) Railroad freight terminals, switching and classification yards, repair shops, roundhouse, power houses and fueling, sanding and watering stations.
 - (26) Television and radio broadcasting transmitters.
 - (27) Textile products manufacturing.

- (28) Toy manufacturing.
- (29) Well drilling services.
- (30) Wood products manufacturing (assembling work and finishing).
- (31) Automobile Fleet Services: Examples include rental car facilities, overnight truck parking, dispatch locations, and any use related to the temporary or periodical parking of operative motor vehicles.
- b. Special exception uses and structures (variation):
 - (1) Temporary construction facilities for a period of one (1) year upon approval of the Planning Director.
- c. Special permit uses and structures include the following:
 - (1) Office buildings for gambling operations, excluding all gaming activities, upon review and approval by the Planning Commission and supporting resolution of the Council.
 - (2) Operations which store or utilize hazardous materials identified through guidelines contained in subsection VI.D.I.4.b. of these regulations upon review and approval of the Planning Commission and supporting resolution of the Council.
 - (3) Cellular installations and PCS (personal communication service) installations.
 - (4) Truck terminals (with video poker gaming facilities) upon review and approval of the Planning Commission, and supporting resolution of the Council (Ord. No. 98-4-17, § IV, 4-20-98). Truck terminals with video poker gaming facilities shall conform to the regulations set forth by the state of Louisiana and to the following regulations:
 - (1) Frontage shall be on a median-divided, major arterial with a minimum of 4-roadway lanes, and having federal or state designation.
 - (2) Minimum lot size of site shall be ten (10) acres.
 - (3) Truck terminals with video poker gaming facilities shall also have all of the following amenities:
 - a) a separate truckers' lounge
 - b) a full-service laundry facility located in a convenient area for truckers' use
 - c) private showers for men and women and not located in an area open to general public restroom facilities
 - d) a travel store with items commonly referred to as truckers' supplies (items commonly used only by commercial motor vehicles)
 - e) truck scales
 - f) separate truckers' telephones
 - g) permanent storage facilities for fuel
 - (4) These regulations shall not be applied to any truck stops with video poker gaming facilities which have received a Certificate of Zoning Compliance previous to the date of this ordinance, notwithstanding any other provisions of this ordinance.
 - (5) *Towing yard.* Towing yards, upon review and approval by the Planning Commission and supporting resolution of the Council, shall conform to the following regulations:
 - (1) Site plan approval. All tow yard operators must secure approval of a site plan. The site plan shall include:
 - a) The storage layout and the maximum number of vehicles proposed to be stored. All storage parking spaces shall open directly to an access drive. Vehicles shall not be stored on top of each other. All vehicles shall be stored on an aggregate parking surface;
 - b) A seven-foot solid, opaque fence will enclose such yards and shall be maintained in a constant state of good repair. Entrances will be constructed of the same material as the fence. All entrances shall remain closed when not in use;
 - c) A ten (10) foot buffer zone when abutting a C-3 or lesser intensive use or zoning district. The buffer shall be planted with acceptable trees and shrubs;
 - d) All buildings and structures to be located on the site and the required off-street parking layout.
 - (2) Towing yard operators shall maintain records of each vehicle and its storage period. These records shall be available upon request of the planning department.
 - (3) Towing yards shall also adhere to state and local licensing requirements.
 - (4) Any change of permitted plan will result in a cease and desist order being placed on the towing yard.
 - (6) Green markets upon review and approval by the Planning Commission and supporting resolution of the Council. Such sites must possess frontage on a hard-surfaced public collector or arterial street.
 - (7) Barrooms, night clubs, lounges and dancehalls upon review and approval by the Planning Commission and supporting resolution of the Council.
 - (8) Automotive racing tracks and strips upon receiving a recommendation of the Planning and Zoning Commission and an ordinance granting approval by the Parish Council.
 - (9) Disposal and/or deposition of directional boring slurry upon receiving a recommendation by the planning and zoning commission and an ordinance granting approval by the parish council. The requirement for a special permit shall not apply to directional boring associated with oil and gas production, nor shall it apply to the incidental or accidental deposition at the site of the boring.
- 2. Spatial Requirements:
 - a. Minimum lot size: Ten thousand (10,000) square feet.
Minimum width: One hundred (100) feet.
 - b. Minimum yard sizes:
 - (1) Front - twenty-five (25) feet
 - (2) Side - fifteen (15) feet
 - (3) Rear - twenty-five (25) feet.
 - (4) Whenever property abuts a major drainage canal as defined by the Subdivision regulations the required setback for all structures shall be ten (10) feet measured from the inner boundary of such servitude or right-of-way, not withstanding any other more restrictive setbacks, this provision shall not apply to any lot of record created and existing prior to the effective date of Ordinance No. 99-12-8, December 15, 1999.
- 3. Transportation System: Arterial, rail, water.
- 4. Special Provisions:
 - a. No manufacturing operations within the M-1 zoning district shall emit odors, gas or fumes beyond the lot line or produce a glare beyond the lot line. All facilities shall be dust-proofed including

- walkways, driveways and parking areas. All operations must be conducted within a building or within an area enclosed on all sides by a solid fence or wall no less than six (6) feet in height.
- b. Where any industrial or commercial use in an M-1 zoning district abuts any residential district or use, a six-foot high solid wood or vinyl fence or masonry wall shall border the same and there shall be a buffer strip fifteen (15) feet wide designated and maintained on the site planted with plant materials acceptable for buffer zones unless the Planning and Zoning Department shall require a greater buffer strip.
 - c. The use(s) shall not receive, process, or create hazardous materials which are listed on the latest National Toxicology Programs Annual Report on Carcinogens, SARA Title III section 302 (EHS), and/or SARA Title III Section 313 (toxicity) without a special permit as identified in section VI.D.[I].1.c of this ordinance. Whenever a proposed development or expansion involves chemical processing or storage on a site in an M-1 zoning district and the uses do not require a special permit as identified in section VI.D.[I].1.c of this ordinance, certification shall be furnished by a chemical engineer, registered in the State of Louisiana and approved by the Parish of St. Charles, that materials associated with the enterprise do not appear on cited hazardous material lists. Those chemicals or materials which are permitted under this regulation either by special permit or certification of compliance, shall be stored in accordance with the National Fire Protection Association Flammable and Combustible Liquids Code (NFPA 30 1990), or amended version. With regard to placement of allowable materials on site, the minimum distance in feet from property line which is or can be built upon, including the opposite side of a public roadway, shall be two times the minimum distances required by NFPA 30. In the event the distances required by this paragraph exceed the minimum distances required by NFPA 30, then the requirements of this paragraph shall govern.

Appendix A. Section XV. - Amendment procedure

- D. Rezoning guidelines and criteria: The proponent for a change should present reasonable factual proof that two or more of the following criteria are met:
 1. The proposed rezoning conforms to land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zone that is incompatible with the surrounding neighborhood.
 2. The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property, and that the proposed zoning does. In order to determine what is reasonable use of the property, the proponent for the zoning change should consider one or more of the following:
 - a. Consideration of uses on adjacent properties that would limit the use of the site under consideration.
 - b. Consideration of unique or unusual physical or environmental limitations due to size, shape, topography or related hazards or deficiencies.
 - c. Consideration of changes in land value, physical environment or economic aspects which can be shown to limit the usefulness of vacant land or buildings.
 3. Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.
 The Planning Staff shall base rezoning analyses on these criteria but shall not be prohibited from factoring unique circumstances of the application into the analysis. The Planning and Zoning Commission may state in its recommendations to the Council: its concurrence with, or rejection of, any or all of the proponents' case for the suggested amendment, and/or its position relative to proponents' statements on the case. Planning Staff analyses and recommendations shall be forwarded to the Council along with the Commission's recommendations.
- E. Rezoning approval criteria: Before the Council votes to approve a rezoning, there should be reasonable factual proof by the applicant that:
 1. The proposed map amendment is in compliance, or is not in conflict, with the goals and recommendations of the St. Charles Parish Comprehensive Plan and Future Land Use Map, also
 2. The proposed map amendment does not negatively impact the health, safety, and welfare of the community.

REZONING GUIDELINE & CRITERIA EVALUATION

1. *The proposed rezoning conforms to the land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zoning that is incompatible with the surrounding neighborhood.*

The subject site is designated *Low-to-Moderate Residential*, which anticipates development of those residential uses typically permitted in the R-1A, R-1B, and R-1A(M) zoning districts. The proposed R-1M district is considered under the *High-Density Residential* FLUM designation, and the proposed M-1 district is considered under the *Industrial* FLUM designation. Neither district conforms to the land development pattern established by the comprehensive plan. The proposed zoning would not be considered a spot zone as it covers a large area (8.34 acres) and would expand adjacent R-1M and M-1 districts. But conformance with the comprehensive plan takes precedence over not being a spot zone as part of the Department's analysis. **The request does not meet the first guideline.**

2. *The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property and the proposed zoning does.*

The existing O-L zoning has been in place since the St. Charles Parish Zoning Ordinance of 1981. While able to be used primarily for agricultural or low-density residential purposes, the policy statement of the Open Land zoning district states “It is intended that land in these districts will be reclassified to its appropriate residential, commercial or industrial category in accordance with the amendment procedure set forth in the St. Charles Parish Code.”

The subject site is located on a stretch of River Road bookended by the IMTT and Bunge facilities. Development within this stretch is limited, with the most notable improvements being dedication of the Oaklawn Ridge Subdivision in 2000 (Ord. 00-12-8), and permitting of the Nelson RV Park in 2016 (Permit No. 29955). The Nelson RV Park was developed upon approval of a similar rezoning to R-1M and M-1 approved in 2015 (PZR-2015-04; Ord. 15-3-5). This development, along with the corresponding M-1, is representative of a shifting land-use pattern/character within an area that has limited development options given the proximity to major industrial developments. A smaller and older RV park is also located nearby on Christina Lane. The proposed R-1M and M-1 districts is a reasonable and appropriate change for the area as per the O-L policy statement. **The request meets the second guideline.**

3. *Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.*

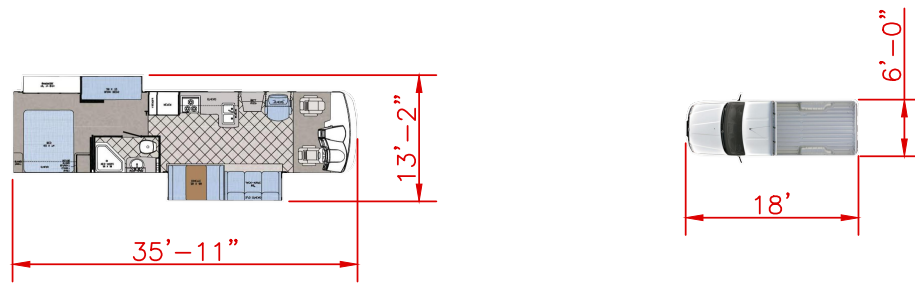
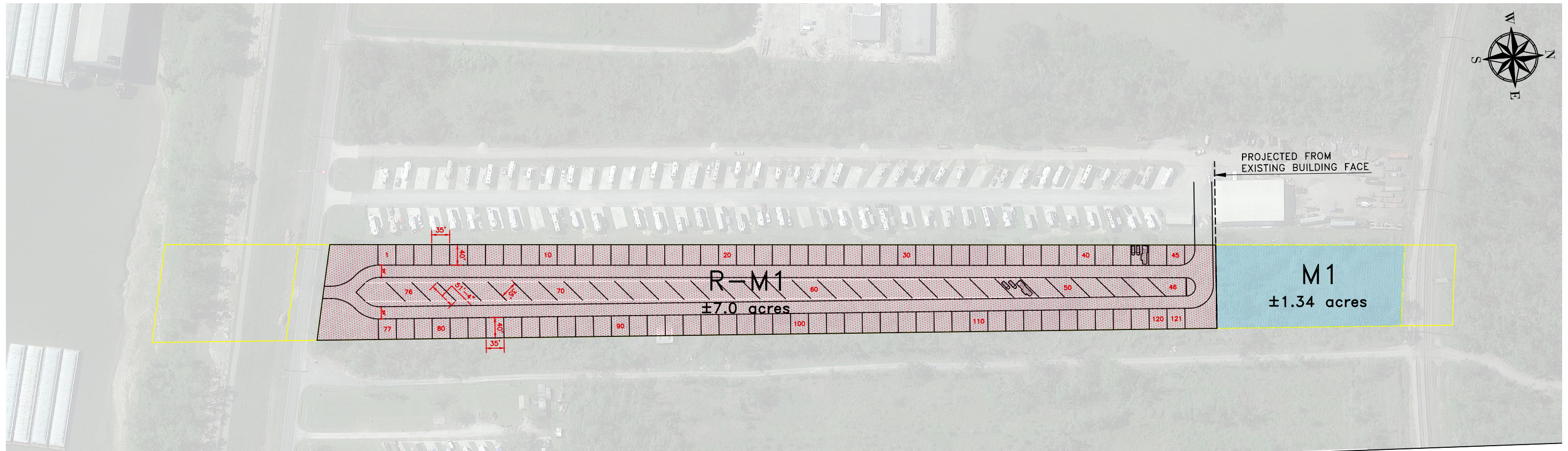
The R-1M zoning district is specific to the permitting of Manufactured Home Parks and RV Parks. This is consistent with the neighborhood character which includes the Nelson RV Park immediately adjacent to the subject site and the Christina Mobile Home Park less than 200 ft. downriver. The proposed M-1 zoning would be located next to the existing M-1 district and industrial use established in 2015, and would also be compatible with the neighborhood character established by the adjacent property.

Regarding infrastructure, as per the Utilities section of this report the Director of Wastewater stated existing sewer facilities in this area could not handle the development potential permitted with this zoning change (possibly 121 RV slots as per a preliminary site plan). Upgrades to the downstream lift station would be required. While this means current wastewater infrastructure would be “overburdened”, if the rezoning is approved an RV Park could not be placed without going through the full development review/permitting process. As part of that process the developer must work with the Department of Wastewater regarding necessary improvements to ensure infrastructure can handle the increased impact prior to starting development. Because the issues are known and there are processes in place to address them prior to development, the Department can consider this item met. **The request meets the third guideline.**

DEPARTMENT RECOMMENDATION

Approval, based on meeting the first and third rezoning criteria.

This request will be forwarded to the Parish Council for a second public hearing with the Planning Commission’s recommendation.



PROPOSED RV & TRUCK DIMENSIONS

Nelson RV Park Phase 2 ST. CHARLES PARISH, LOUISIANA			
RV PARK PLAN VIEW			
DANNY J. HEBERT, P.E. CIVIL AND ENVIRONMENTAL CONSULTING ENGINEERS 14433 RIVER ROAD, HAHNVILLE, LOUISIANA 70057 PHONE: (985) 785-2380			
DATE:	01/08/2024	PLOT SCALE:	1" = 200'
DESIGNED BY:	ISB	DRAWN BY:	ISB
CHECKED BY:	DJH	CHECKED BY:	DJH
DRAWING NO.		PR-1	
APPROVED BY:		DJH	

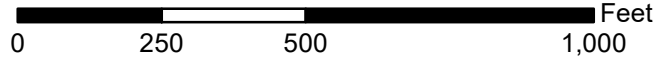
DATE	DESCRIPTION	NO.

One Call before you dig.
 1-800-475-4000
Note: "Prior to construction, the contractor will verify all utilities." If a conflict exist, notify the project engineer/architect.

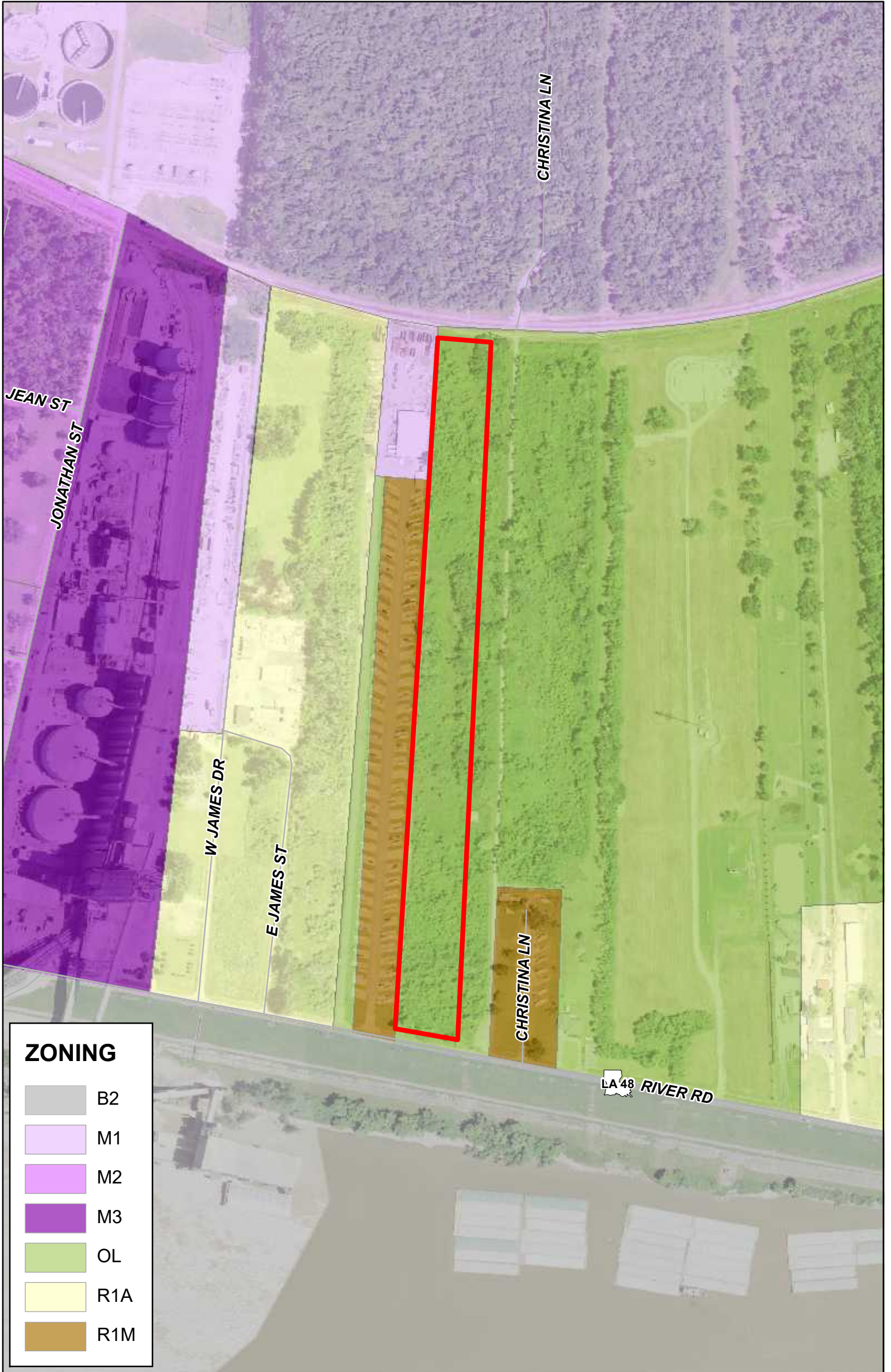
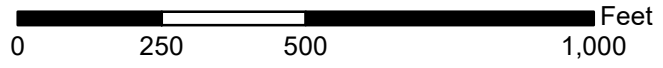
THIS LINE IS ONE INCH LONG WHEN PLOTTED FULL SCALE








2024-3-R

O-L to R-1M and M-1

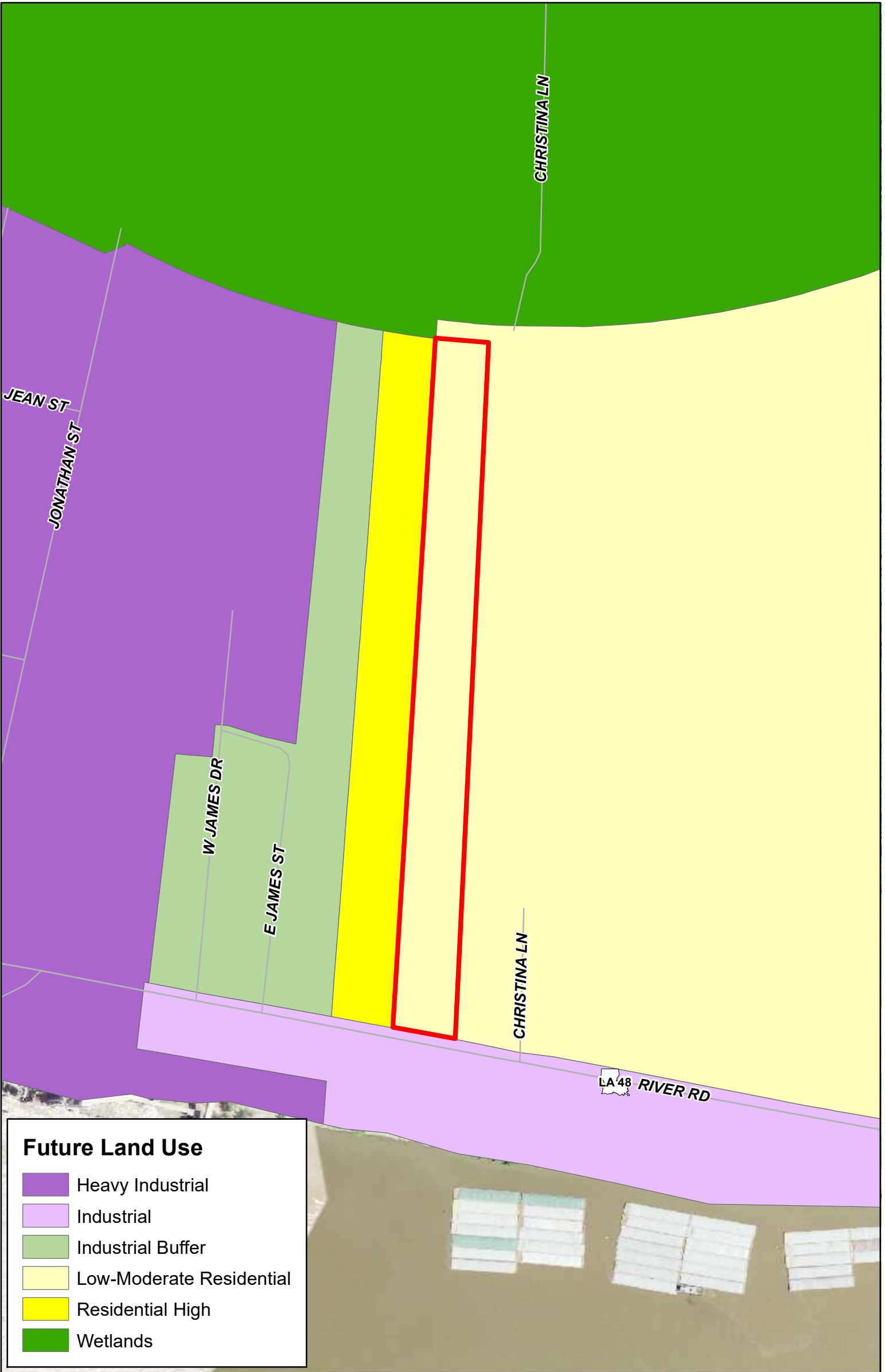
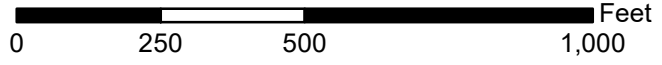


2024-3-R
O-L to R-1M and M-1



ZONING	
	B2
	M1
	M2
	M3
	OL
	R1A
	R1M

2024-3-R
O-L to R-1M and M-1



Future Land Use

- Heavy Industrial
- Industrial
- Industrial Buffer
- Low-Moderate Residential
- Residential High
- Wetlands



St. Charles Parish
Department of Planning & Zoning
 14996 River Rd / P.O. Box 302 • Hahnville, LA 70057
 Phone (985) 783-5060 • Fax (985) 783-6447
 www.stcharlesparish-la.gov

Permit/Case #:	2024-3-R
Receipt #:	
Application Date:	12/29/23
Zoning District:	R-1M and M-1
FLUM Designation:	Low DL
Date Posted:	

**APPLICATION FOR ZONING MAP AMENDMENT
 (CHANGE OF ZONING DISTRICT OR REZONING)**

Fee: \$40 - \$200

Applicant: DNA Real Estate, LLC
 Home address: 12350 River Rd, St. Rose, LA 70087
 Mailing address (if different): nelsonbros.com
 Phone #: 504-451-2368 Email: nelsonbros@cox.net
 Property owner: same
 Municipal address of property: 12320 River Rd, St. Rose, LA 70087
 Lot, block, subdivision: Lot 19 Pecan Grove
 Change of zoning district from: DL to: R-1M + M-1
 Future Land Use designation of the property: expansion of RV Park + Equipment Parking
 (A fact sheet on Future Land Use designations is available at the Planning and Zoning Department).

Your written responses below will be forwarded to the Planning and Zoning Commission and Parish Council to help them make a determination on the merits of your request.

Describe how you plan to use the property if the rezoning is granted: We will expand our existing RV Park + Equipment parking

What types of activities occur on adjacent properties today? How is your proposed use compatible with the neighborhood?

Both adjacent properties are currently RV Parks

Is there something about the property or the surrounding neighborhood that make the rezoning necessary?

unknown

How does your proposed use of the property comply with the Future Land Use designation for the property?

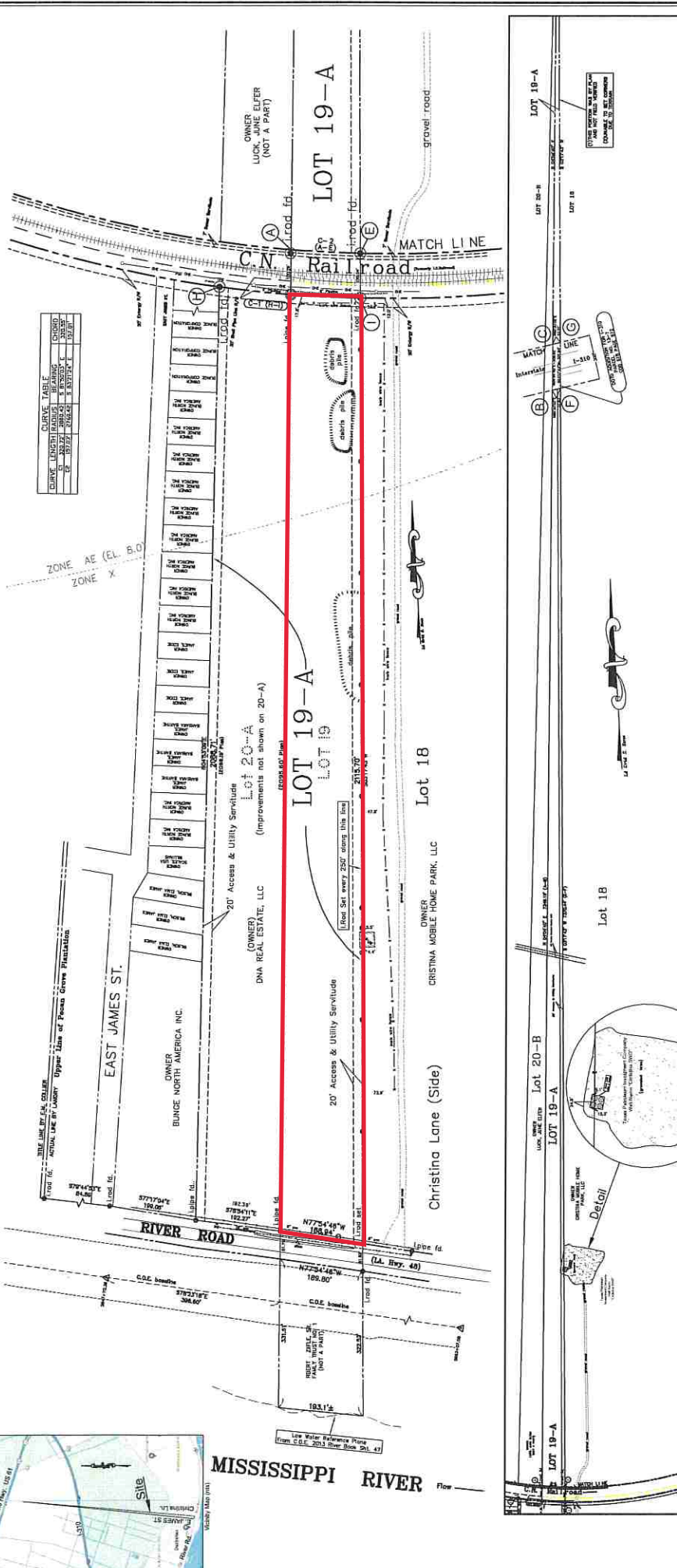
expansion of existing RV Park

If the property is rezoned, but your project does not develop, explain how other uses allowed in the new zoning district are compatible with the existing neighborhood? A list of allowed uses is available at the Planning and Zoning Department.

Upon approval from the parish, the project will develop

CURVE TABLE		
CURVE	LENGTH	BEARINGS
1	157.72'	S 83° 24' 00" E
2	157.72'	N 21° 26' 14" E
3	157.72'	S 68° 35' 56" E
4	157.72'	N 11° 06' 36" W
5	157.72'	S 69° 19' 54" W
6	157.72'	N 21° 26' 14" W
7	157.72'	S 83° 24' 00" W

ZONE AE (EL. B.O.)
ZONE X



MISSISSIPPI RIVER

APPROVED

_____ DATE _____

CHELL THURMS, ZONING COMMISSION

_____ DATE _____

WARDEN PRESIDENT

RECORDED IN THE CLERK OF COURTS OFFICE, ST. CHARLES PARISH ON THE _____ DAY OF _____ A.D. _____ BY _____

DAVID D. _____ BY HOOK _____

"ALL NECESSARY SEWER, WATER AND/OR OTHER UTILITY EXTENSION RELOCATIONS OR MODIFICATIONS SHALL BE MADE SOUTH AT THE LOT OWNER'S EXPENSE."

GRAPHIC SCALE

1" = 100' (IN FEET)

1 inch = 100 feet

LEGEND

(D) SAND MANHOLE
(V) SAND CLEAROUT
(M) SAND LIME
(B) SAND LIME
(S) SAND LIME
(D) SAND LIME
(C) SAND LIME
(E) SAND LIME
(F) SAND LIME
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(D) SAND MANHOLE
(V) SAND CLEAROUT
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(C) SAND LIME
(E) SAND LIME
(F) SAND LIME
(G) SAND LIME

REVISIONS

NO.	DATE	DESCRIPTION	BY

NOTE:

The notes of referenced drawings and this plan shall be read in conjunction with the notes of the referenced drawings. The notes of the referenced drawings shall take precedence over the notes of this plan. The notes of this plan shall take precedence over the notes of the referenced drawings only when specifically stated otherwise.

NOTES:

1. ALL NECESSARY SEWER, WATER AND/OR OTHER UTILITY EXTENSION RELOCATIONS OR MODIFICATIONS SHALL BE MADE SOUTH AT THE LOT OWNER'S EXPENSE.

2. THE NOTES OF REFERENCED DRAWINGS AND THIS PLAN SHALL BE READ IN CONJUNCTION WITH THE NOTES OF THE REFERENCED DRAWINGS. THE NOTES OF THE REFERENCED DRAWINGS SHALL TAKE PRECEDENCE OVER THE NOTES OF THIS PLAN. THE NOTES OF THIS PLAN SHALL TAKE PRECEDENCE OVER THE NOTES OF THE REFERENCED DRAWINGS ONLY WHEN SPECIFICALLY STATED OTHERWISE.

GENERAL NOTES:

1. HAVE CONSULTED RELEVANT RECORDS AND DETERMINED THAT THE PROPOSED LOT LAYOUT IS CORRECT AND THAT THE PROPOSED LOT LAYOUT IS CORRECT AND THAT THE PROPOSED LOT LAYOUT IS CORRECT.

2. THE NOTES OF REFERENCED DRAWINGS AND THIS PLAN SHALL BE READ IN CONJUNCTION WITH THE NOTES OF THE REFERENCED DRAWINGS. THE NOTES OF THE REFERENCED DRAWINGS SHALL TAKE PRECEDENCE OVER THE NOTES OF THIS PLAN. THE NOTES OF THIS PLAN SHALL TAKE PRECEDENCE OVER THE NOTES OF THE REFERENCED DRAWINGS ONLY WHEN SPECIFICALLY STATED OTHERWISE.

STAMP:

LANDMARK SURVEYING, INC.
1513 Municipal Street
Harrisburg, Missouri 64303
Phone: 366-1350-3303
Fax: 366-1345-8277
www.landmarkinc.com

RESUBDIVISION OF LOT 19-A AND LOT 20-A INTO PECAN GROVE PLANTATION SECTION 6, T 13 S ~ R 8 E ST. CHARLES PARISH, LOUISIANA

DOE NO. 23-25264 (DATE: DECEMBER 07, 2023) DRAWING NO. 232024



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0089 **Version:** 1 **Name:** O-L and R-1A(M) to R-1A on Lots P-1, 1B-1-A, 1A-1, and those properties designated as the Roussel Tract and Lot 3605A, approximately 42.5 acres between Dixieland and Country Cottage Subdivisions, 17956 and 17962 River Road, Montz as requested by Denver Pe

Type: Ordinance **Status:** Introduced For Public Hearing

File created: 2/19/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: An Ordinance to amend the St. Charles Parish Zoning Ordinance of 1981 to change the zoning classification from O-L and R-1A(M) to R-1A on Lots P-1, 1B-1-A, 1A-1, and those properties designated as the Roussel Tract and Lot 3605A, approximately 42.5 acres between Dixieland and Country Cottage Subdivisions, 17956 and 17962 River Road, Montz as requested by Denver Perilloux, Terry & Dana Perilloux, Robert Oubre, and Chris M. Trepagnier for OT Properties, LLC & Three 4 Three, LLC.

Sponsors: Matthew Jewell, Department of Planning & Zoning

Indexes:

Code sections:

- Attachments:** [2024-0089 RECOMMENDATIONS AT A GLANCE](#)
[2024-0089 Minutes](#)
[2024-0089 Staff Report](#)
[2024-0089 AERIAL](#)
[2024-0089 ZONING](#)
[2024-0089 FLUM](#)
[2024-0089 Submitted Photos](#)
[2024-0089 Denver Perilloux Application1](#)
[2024-0089 Denver RPlat](#)
[2024-0089 OT Properties, LLC Application1](#)
[2024-0089 Oubre RPlat](#)
[2024-0089 Perilloux RPlat](#)
[2024-0089 Robert Oubre Application1](#)
[2024-0089 Survey](#)
[2024-0089 Terry & Dana Perilloux Application1](#)
[2024-0089 Three 4 Three LLC Application1](#)

Date	Ver.	Action By	Action	Result
2/9/2024	1	Parish President	Introduced	
2/1/2024	1	Planning Commission	Recommended	Approval
2/1/2024	1	Department of Planning & Zoning	Recommended	Approval
1/3/2024	1	Department of Planning & Zoning	Received/Assigned	PH

RECOMMENDATIONS AT A GLANCE

2024-1-R requested by Denver Perilloux, Terry & Dana Perilloux, Robert Oubre, and Chris M. Trepagnier for OT Properties, LLC & Three 4 Three, LLC for a change of zoning from O-L & R-1A(M) to R-1A on Lots P-1, 1B-1-A, 1A-1, and those properties designated as the Roussel Tract and Lot 3605A, approximately 42.5 acres between Dixieland and Country Cottage Subdivisions, 17956 & 17962 River Road, Montz. Council District 6.

Planning Department Recommendation:

Approval.

Planning Commission Recommendation:

Approval.

2024-1-R requested by Denver Perilloux, Terry & Dana Perilloux, Robert Oubre, and Chris M. Trepagnier for OT Properties, LLC & Three 4 Three, LLC for a change of zoning from O-L & R-1A(M) to R-1A on Lots P-1, 1B-1-A, 1A-1, and those properties designated as the Roussel Tract and Lot 3605A, approximately 42.5 acres between Dixieland and Country Cottage Subdivisions, 17956 & 17962 River Road, Montz. Council District 6.

Mr. Welker - The proposed rezoning conforms to the land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zoning that is incompatible with the surrounding neighborhood.

The subject site is within an area designated Low-Moderate Residential, which anticipates development of those residential uses typically permitted in the R-1A, R-1B, and R-1A(M) zoning districts. The request would not be considered a spot zone since it covers a large area and expands on an adjacent R-1A district. The proposed R-1A zoning does conform to the land development pattern established by the Future Land Use Map and furthers the goal of the Comprehensive Plan. The request meets the first guideline.

The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property and the proposed zoning does.

Montz has been the subject of five large-scale rezonings to R-1A causing significant shifts in the land-use pattern/character:

- PZR-1990-04; Ordinance No. 90-3-1 – Evangeline Road from River Road to the CN Railroad
- PZR-1990-08; Ordinance No. 90-5-6 – Evangeline Road to from the CN Railroad to Airline Drive
- PZR-2001-03; Ordinance No. 01-2-5 – Evangeline Estates Subdivision
- PZR-2002-06; Ordinance No. 02-5-1 – Country Cottage Estates Subdivision
- PZR-2003-06; Ordinance No. 03-5-15 – Country Cottage Estates Subdivision

Large-scale, planned residential subdivision development in Montz had long been limited to Evangeline Road (Evangeline City, 1927) and Thoroughbred Avenue (Dixieland, 1977 & 1979). Development in the remaining area was sparse and consisted of either heavily wooded undeveloped land, agricultural uses, or individually developed residences along River Road. The early 2000s marked a significant shift in the land use pattern of Montz. The above referenced rezonings in 2001, 2002, and 2003 allowed for the introduction of typical suburban single family subdivisions with the development of Country Cottage Estates (263 lots, 2002-2006) and Evangeline Estates (70 lots, 2002-2004).

The existing zoning is not necessarily unreasonable. Those uses permitted in the R-1A district can be permitted in the R-1A(M) and O-L districts. But the proposed R-1A zoning would be more reasonable as it would permit the type of development that is more in line with the current land-use pattern and character of Montz as detailed above. The request meets the second guideline.

Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.

The proposed R-1A zoning would be compatible with the surrounding neighborhood character consisting primarily of single family residential homes, most of which within typical residential subdivisions (Dixieland, Country Cottage Estates, Evangeline Estates). R-1A zoning would allow for residential development at a higher density compared to what could be permitted under the primarily O-L zoning (6,000 sq. ft. lot minimum vs. 20,000 sq. ft. lot minimum), so increased impact to public facilities could be expected and must be accounted for as part of any resulting development. At this time the Department of Waterworks stated no additional burden to their system would occur. The Director of the Department of Wastewater stated that while down-stream sewer improvements may be necessary, there is no objection to the proposed zoning change. Any significant subdivision development resulting from this request would go through the Major Subdivision process. As part of this process, detailed plans are reviewed to ensure new water, sewer, and drainage infrastructure will be built to Parish standards, and any adverse impact to existing facilities identified and mitigated. The request meets the third guideline. The department recommends approval.

Representative - David Moyer 13551 River Road Luling, attorney for the applicants. As the commission knows this is the first of about half a dozen steps the planning board has recommended approval it complies with the 20-30 plan with the parish. I didn't realize there would be this much excitement here tonight, but this is just an application for re-zone. Does anyone have any questions?

Commissioner Petit - The public hearing is open. Anyone that speaks will have about 3 minutes, we will have a timer, we will let you know when your time is up, and you can only speak once and you cannot return to the podium. If you are speaking for a group if you would let us know up front, we will allow 6 minutes and we would ask the group to stand, whoever you are representing. Again, this takes 4 votes to pass, this is a recommendation and will be forwarded to the Council tonight we are just looking at the rezoning request. Just a reminder if you are up at the podium you are talking to us we are recording this it is being broadcasted to the public at this time so in order for them to hear we need the person that is speaking into the mic to speak very clearly and we need silence in the audience. Also, just a reminder we do need everyone's name and address for the record, that's the first thing we need when you approach the podium.

Robert Gonsoulin 140 Thoroughbred Montz – Been living there about 40 years, until the parish put 3 pumping stations on Airline Hwy. we never flooded, well since then it's been nothing but flooding. If you take 42.5 acres and you put houses in there we will flood it's suppose to be done after the pumps are in, well there's no pumps you cannot allow them to start this process when a pump is not in place and we will flood. I live on Thoroughbred, Thoroughbred is a dead-end street and we want it to remain a dead end street, we don't

want to connect to another subdivision. The last time this happen we all came in and did the same exact thing and stopped it, and we trying to do it again and I have pictures of the said property underwater with 4 ½ inches of rain and we've had a lot more than that and I'd like ya'll to look at these pictures there are River Road and this is some of the stuff we've been going through in Montz, in that area cause I'm right there by it. (photos were given to Mr. Badgerow to pass to commission members)

Melanie Schexnayder 155 Thoroughbred Ave. – I'm here tonight to oppose the rezoning of the property because the attempted rezoning is for the purpose of the development of a major subdivision. It is my understanding that a major subdivision is described as a development that contains over 5 lots of houses this proposed subdivision would literally be in our backyard as our yard butts up against the strip that is owned by Denver Perrilloux and I have concerns. My biggest concern is drainage, drainage, drainage. I lived in the community of Montz for over 50 years, first as a resident of Evangeline Road then as the owner of the property on Thoroughbred I've never seen Montz fill up with as much water as I've seen lately. Last month we had 2 major rain events, the first one the River Road in front of Thoroughbred along with the neighbors backyards and Ms. Joyce's house that faces River Road full of water. The second rain event later in the month put water in the same places Evangeline Road between the tracks had to be barricaded it was still barricaded the next morning as I saw the bus drivers asking if it was still closed, transportation for St. Charles Parish Public Schools had indicated that it was this is unacceptable the water that is filling and standing in Montz is unacceptable. It is my understanding that the community of Montz will be getting an improved drainage with pumps, etc. it's my understanding from speaking with Mr. Bob Fisher that the project while the money has been allocated for the project it won't even break ground until the third quarter of 2024, when I asked him how long the project is expected to be completed I was told about 12 months, we all know that major projects such as this usually takes longer than that so the community could be potentially looking at 20-24 months for the completion of the pumps, in turn you get situations like this with the water and drainage issues and I feel the parish should not even consider allowing a major subdivision to be built in an area until these issues have been resolved, as the property stands right now if a subdivision is allowed to be developed it will flood out the residents who already live here it is important to recognize that before we allow the development of a major subdivision that we keep the residents who have already invested in the community a priority. We have built homes that are most people's major investments, we built relationships and a community atmosphere, we live here because we want to. Please don't let a few developers, 3 of the 4 property owners asking for this rezoning don't even live in Montz come in and destroy come in what everyone has worked hard flooding will decrease our property value making our homes unsellable even if we wanted to move and drive up our already extremely high insurance premiums perhaps to the point we won't be able to have flood insurance please protect our current residents first.

Commissioner Petit – time is up.

Ms. Schexnayder – this is my mom can I have her 3 minutes.

Commissioner Petit – yes.

Ms. Schexnayder – I also have issues with the potential development of a major subdivision because we have no idea what the plans for the subdivision are, rezoning should be taken off the table for that reason while I understand that you don't have to submit an application for the subdivision in order to get rezoning done that's a problem this rezoning application today is for the purpose of developing a major subdivision that is described over 4 or 5 lots. So what are they looking to build 6 houses, 60 houses, 160 houses, what will be the size of the lots, the size of the houses, approximate value of the houses upon completion. Can anyone here tell us what low to moderate residential means, what does that entail? An application that was posted on a community forum states future land use recommendations, this included duplexes, townhouses, I'm under the impression that a new subdivision would have to fit in with the already existing homes I'm not aware of any duplexes or townhouses in the other neighborhoods I was told by my councilman that rezoning will only be for single family residences and will be able to be put there, so some clarification on this would be helpful. Would the subdivision be developed in phases? How long will it take to complete? How much noise and inconvenience will the residents who already reside there will be subjected to? Where will the ingress and egress for the development be? Will it only be off of River Road or will the intent be to stub into the existing neighborhoods of Dixieland Subdivision and Country Cottage Subdivision to meet new subdivision requirements that I was told now has to have two points of entry and exit. If this is done you will literally turn Thoroughbred Ave. cause you tried to do this last time, um they can't handle any more traffic Thoroughbred Ave. is a complete and total mess you will be putting children's, pets, residents of becoming victims of high traffic, high speeds down the street with no sidewalks and a speed limit 15 mph. I have neighbors who have young children and I want them to have the same protection with traffic that I had when I was raising young children there we bought a property down a dead end street we want it to stay that way, transparency is going to be the key to resolving this matter and I feel that we don't have that there is nothing on paper for the subdivision proposal that we can see at this time we been down this road before with Mr. Oubre, Mr. Trepagnier they attempted to put a subdivision here with no access to River Road at that time and the intent to stubbing into the existing neighborhoods and pour their traffic to our neighborhoods, drainage, probably flooding, traffic, schools, busses, teachers, all of this needs to be taken into consideration.

Commissioner Petit- Ms. Schexnayder unfortunately a lot of your second part of your questions around the number of houses the size, we don't have answers to that, that's not something that has been shared with us we don't access to that, this is a rezoning request.

Ms. Schexnayder – that's why we asking yall not to send it to the council until we have some more information.

Commissioner Petit – I do understand that. Just to let everyone know yourself as anyone else that will come, they will be, if a subdivision is finally proposed and we do recognize on the application that is the intent, we have an idea of what the applicant has in mind but as far as the size of the lots, number there are requirements in the zoning that restrict the sizes but we don't know entrances, we don't know number of lots the drainage study, the traffic impact analysis all of that would come if required as part of that subdivision, but thank you for your concerns I appreciate you stepping up.

John Bonnette 114 Thoroughbred – I'm gonna keep it short and sweet. I agree with everything Ms. Schexnayder said, I think my only thing is I agree that we should let the master drainage plan take place in Montz before we consider anything. If you do vote on this tonight, um I think you should go heavily with zoning's recommendation of sticking with R-1A, no R1AM if that's part of the vote tonight I don't know if that is please correct me if I'm wrong that R1AM will be part of the rezoning then I strongly object to that.

Commissioner Petit – just to clarify that, so it currently has a piece that is R1AM, the request is to convert that piece as well to R1A. Is that correct Chris?

Mr. Welker – yes.

Mr. Bonnette – ok even with that being said I agree with my neighbors that we should not rezone any property until we have carried out the master drainage plan for Montz and see how Montz and surrounding neighborhoods handle water as everyone said right now, water is an issue I don't know how many roads in this parish require for parish workers to come out and put barricades in the middle of the night to keep people off roads to keep people safe and that currently happens is a very low threshold, doesn't take very much rain for that to happen and it has happened multiple times in the short time I have been in Montz. I just think that until we insure the people that are in Montz right now and live there are safe, our homes are safe, and our roads are safe we should not consider any rezoning at this time.

Jared Burford – 133 Thoroughbred Ave. – Just moved to Montz about a year ago, got away from Destrehan because the traffic just got insane out there, nice quiet street if yall plan on making Thoroughbred an inlet and outlet, I definitely oppose it. I think this agenda was submitted January 3rd and I probably wouldn't have had a problem with the drainage, like I said I'm fresh to the area but on January 8th, I watched I live right next to the Coulee canal on Thoroughbred Ave. it's a big canal 5-6 ft. deep, I watched that water come up 5-6ft. over the top of the canal I watched that come into my property, I watched that thing, 4 more inches it would have been in my garage, it would have been in my neighbor's property, it would have been flowing down the street to everybody else at the back of the neighborhood. I completely agree if you do this you will flood us out there's no doubt, there's too much water. I don't even think what you have not can handle what you have. I think when you upgrade the pumps you will be getting it where it should be it's not adding more (inaudible) 42 ½ acres

soaking up water is now gonna flow to the Coulee canal which is in that thing notable canal so that means the drainage is pretty much going to be going there flowing right next to my house, eroding my property and a possible flood my house and I heavily oppose this. Thank you.

Karen Bivona – 153 Thoroughbred Ave. – I’m here today to oppose the rezoning like everyone else said it floods Thoroughbred, the beginning of Thoroughbred to the curve, floods on a regular rain they had our street torn up for months trying to fix it, it still not fixed yet Evangeline Road that continues to flood numerous times blocked off people can’t get out of their houses, kids can’t get to school so we forced to go down CC Road, CC Road is horrible, it floods the drainage is not correct on CC Road either and that’s the point I wanted to make also that that needs to be addressed because when you can’t go down Evangeline we have to go down Thoroughbred and my other concern is if it’s subdivision our voting facility isn’t not capable of holding the people we have now in Montz and its unsafe and we need that addressed as well and I opposed this rezoning today.

Marcia Culver – 163 Thoroughbred Ave. – The rezoning they were talking about tipping the boxes for drainage impact, the drainage plan that’s in effect right now is designed for what’s in place now so any added housing is going to impact that when you had, when you take land out of drainage and put more concrete you’re going to have more run off, the more run off is gonna be not going to be addressed than the plan that’s in present. The other thing is, let’s see the utility impact all it takes is when the fire department would go around doing the fire hydrants all they had to do was open a fire hydrant and our water pressure caved, we have nothing, and they want to had more houses they need to address the utilities. Let’s see, one of the most important things is when you have Evangeline Road that floods you also have the possibilities when Spill Way Road closes due to flooding then we have Evangeline Road closed the Spill Way Road closed, all the emergency equipment has to come from LaPlace or go to Bayou Steel Road so then you going to add all this new traffic there’s no light at Evangeline Road, there’s no light at CC Road so when you add the traffic impact I haven’t heard anything about that so that has to be a consideration that your adding 2 cars per house then you talking about I don’t know how many houses, but who does the traffic impact, when all these studies are done the engineering studies that have to be done, who does that is that the owner’s or the people doing the subdivision is that their responsibility.

Commissioner Petit – to answer your question it’s a combination of both depending some of the feedback on some of the utilities like the water works, the wastewater would come from those departments in the parish if they required studies those would need to be done by a licensed company, but I believe a traffic study would be required depending on the size of the resubdivision. Correct Michael?

Michael Albert - at the developer’s expense.

Commissioner Petit- at the developer’s expense and it would require to be a third party.

Ms. Culver – ok and the traffic, they have to keep in mind that were land locked, when Spill Way Roads closed and Evangeline’s flooded.

Commissioner Petit – and that would all go into that traffic that plan, at that point the study would include how many potential lots how much traffic increase there would be so that would be fed into that stuff.

Ms. Culver – Alright, that’s all I have right now.

Keri Burford – 133 Thoroughbred Ave. – I just want to bring to your attention that this land that is going to be developed the parish is using it as a flood plain ok, I see the Coulee overflow many times in this property I’m not talking about my street, I’m talking about the property behind my house where the rezoning is taking place. A flood plain ok, it looks like a lake back there if you would like I can give you some pictures, whether the parish realizes it or not the fields that are in Montz right now are helping it keep the water from coming into our houses so it might be a good idea to come take a look at the fields you know when it’s raining because it is a regular occurrence – and I also agree with everything my neighbors said and my husband has said so far. Thank you.

Paul Guidry – 100 Gretchen Court Montz, Country Cottage Estates representing. I live on that Coulee and every time it rains or has a major rain event my backyard is close to getting flooded out now if you haven’t been to our subdivision it’s built up so my concern is when they develop this land they gonna bring fill in, what’s going to happen the fill, it’s going to push the water into our houses and we just got through Ida and for all those who actually did flood for Ida there insurance rates went up so it’s two fold. You have all this land that’s pretty much surround by other subdivisions that’s actually keeping us from getting flooded and really you have 3 pumps on Airline Hwy. pumping all of the water out of Montz and we can’t keep the water low enough in line for comfort to anyone here. So, until you really get a master flood plan that actually is effective to keep the water out of our yard, garages I highly recommend that you do not let this pass tonight. Thank you.

Justin Naquin – 525 Evangeline Road Montz. – Alright so, they said that this would meet all the surrounding areas so he said 6,000 sq. feet per house that’s over 6 houses per acre there ain’t but maybe a handful that’s got a lot that small around us you said that met that requirement, it doesn’t meet that requirement, you said that was low to medium value houses, medium in our eye but not really low I mean my property taxes are 4,000 dollars a year what I pay and the flooding is ridiculous so I pay this amount of money and I cant even get out of my road cause it’s flooded y’all said y’all was gonna put the culvert by Airline Hwy. that was gonna fix it well one week later it flooded the whole area again so y’all say y’all know what the water is gonna do but y’all ain’t got a clue. So how when you put 1 foot of fill which is the minimum requirement per house, 42 acres of 1 foot higher how is that not going to flood everybody else. This is absurd, absurd and who is going to be responsible if it floods our house. I’m looking at all y’all I’m looking at the builder, I’m looking at everybody because

it would be y'all's fault. This should not even be entertained; it does not meet these requirements of your own paperwork and the low value houses could that mean section 8.

Commissioner Petit – no not based on the zoning that's being proposed, no and just to clarify, Michael you want to clarify the 6,000 foot is not structural requirements it's actual lot size. Correct?

Mr. Naquin – lot size.

Mr. Albert – for one I'd like to request that the comments be directed to the chair, the staff is just presenting the report, and second there needs to be a distinction and it's difficult but the talk about the low to moderate is talking about housing density there are categories that zoning falls within it has nothing to do with low income or anything else related to that, it's a density category, multiple zoning districts fall within it, R1A is one of those eligible districts so it does meet the criteria.

Mr. Naquin – so wouldn't most of it be R1B with a 10,000 sq. foot minimum lot? So how is R1A with 6,000, how would that be equal to the surrounding area.

Commissioner Petit – this proposal is to rezone this to the same designation as the 2 adjacent neighborhoods, alright so same requirements for lot size nothing different it's the R1A, no R1B, no duplexes, it's whatever's required in R1A. So it's again it's the same zoning as the 2 adjacent neighborhoods.

Mr. Naquin – alright well on Evangeline Road there's no sidewalks so I have 2 small kids where people are speeding down my road already, if you put 250 more houses that's 500 cars that's 500 more people that my kids got a chance of getting hit by, and it's just not set up for a major subdivision in there, it's not set up for it with 1 foot higher, 42 acres that floodings going somewhere and it's coming in all our houses. Thank you.

Curtis Hanna – 177 Thoroughbred Montz – Pretty much all of my neighbors have said what we want to say um I don't know who got paid off but everybody here is voted in so whoever gets paid off we just vote them out. We gonna appeal this if it goes through so y'all, y'all see do what y'all see fit but there is enough of us to appeal it, that's all I got to say.

Cliff Bleakley – 136 Thoroughbred Montz – First off just a question, what does it take for y'all not to vote for it, I mean to vote against it? Cause it seems like everything you say, well it's just for rezoning and it goes to the Council. What does it take to stop it here?

Commissioner Keen – if we vote no, it still goes to the Council.

Mr. Bleakley– either way, even if it's majority, no.

Commissioner Keen – correct.

Mr. Bleakley– so what's the point of this meeting?

Commissioner Keen – this is the preliminary to be able to put it on record everything you stated here, things been documented all goes up to the Council meeting when they have that, when this is all (inaudible)

Mr. Bleakley – ok I understand the process.

Commissioner Petit – you are also welcome to attend that there will be a public hearing. Lots of the comments and questions are about the proposed or a proposed subdivision when that happens, if that happens at this point were here to consider the rezoning request, does it fit within the character of the existing zoning next to it, again we don't know a lot of those plans are for the size or density, drainage studies that would be part of the development once it happens. That would be permitted, requested, that would come back to us there would be a second hearing on that type of request.

Mr. Bleakley – ok, and my only other question is, I understand why Bob Oubre and Trepagnier are requesting this cause they tried it before the property that he's trying but I don't understand why the Perrilloux's are on it, cause their a separate property. Does that mean there asking to rezone to be included in the subdivision proposal?

Commissioner Petit – yes, that is correct this includes.

Mr. Bleakly – they already have a house there, and I'm just wondering why do they need, and I'm friends with the Perrilloux's, been lifelong friends with them. I just want an explanation.

Commissioner Petit – that's not a question we can answer.

Mr. Bleakly – I'm just looking for an answer.

Commissioner Petit – That's not something we have information on at this point.

Mr. Bleakly – But it is included.

Commissioner Petit – It is included. I don't know if you could bring the map back up but it does include from River Road it's lots P1 and 1B-1A and 1A -1 which include that, if the audience could please not talk, open land and R1AM would be switched.

Julie Naquin – 111 Gretchen Ct. Country Cottage Estates – I just wanted to say that I totally oppose it for every reason that everybody said for our neighbors, our friends, our houses, just want to be on record that I oppose it.

Stephanie Kropog – 103 Arline Ct. Montz - Good evening. I come very close to flooding also. I have a question to ask you. According to this map amend that was done by the Planning and Zoning staff report on the second page it says recommended zoning district R1A, R1B, R1AM. Does that mean they're going to attempt to put R1AM um on that property?

Commissioner Petit – No that, that's basically a recommendation based on the comprehensive future of land use, so there's a study done that's refreshed every 10 years you want to talk a little bit, Michael.

Mr. Albert – yes, like I don't know if you heard me mention earlier there's certain land use categories in each of those categories has 3 to 5 different zonings in them , so no they not asking for that, that's not even part of the consideration for this entire land use category here including what they have those are also eligible zoning districts but there not asking for those.

Ms. Kropog – they're not asking, they're asking for R1A. Ok. So my next question is, on, are you attempting to resub divide our subdivision?

Commissioner Petit – I'm not familiar with any request.

Ms. Kropog – because, well according to St. Charles Parish Appendix C in your St. Charles Parish subdivision regulations of 1981 under General Section I, under definitions, it says resubdivision any change to an approved or recorded subdivision which Country Cottage Estate is that's where I live plat that effects any lot line, street layout which would affect our street lay out because in order to access this proposed subdivision you have to go into Country Cottage and build a road over the ditch so that would affect the street lay out or area reserved for public use or that effects any survey, map, plan, deed, or property transfer an legally recorded prior to the adoption of the subdivision ordinance of 1981. So, putting that street in on Country Cottage Estates in Country Cottage Estates you would resubdividing. Is that not correct?

Commissioner Petit – at this point.

Ms. Kropog – How could that not be?

Commissioner Petit – at this point we have no resubdivision request, we have no proposal for a street, this is simply to rezone the property. There's no proposal tonight for a subdivision.

Ms. Kropog – but, but in this

Commissioner Petit – that would come again if that is submitted to us that would come before the commission for consideration and approval separately which would likely address everything you pointed out in that piece of the charter.

Ms. Kropog – But in this document it said that proposals would be to be going through Thoroughbred and Country Cottage Estates. Is that not, correct?

Commissioner Petit – That's in? I'm not sure what you have a copy of mam.

Ms. Kropog – The streets, the access to the subdivision would be on Thoroughbred and Country Cottage Estates. Is that not, correct? And my question is why would that be when

there is 450 feet on River Road that could be accessed to get to that new subdivision, proposed subdivision.

Commissioner Keen – Again none of this, this is just for the changing of the zoning, and so none of this is talked about, roads, number of houses, none of that, it's just to take it from open land and currently there is mobile homes permit on River Road.

Ms. Kropog – There is what?

Commissioner Keen - On River Road right now the front of this section is already zoned R1M, it's already zoned that way so we trying to change that to R1A, that's what they're asking, that's what they're requesting. Nothing about building houses yet, nothing about building roads, the ability to plan to do that is all their requesting, that's all that really is at this point.

Ms. Kropog – Ok. At what point in time we find out where they going to access that subdivision?

Commissioner Keen – At some point down the road once they develop a plan that will come forward at that time some months from now.

Commissioner Petit – it would be required to submit those plans.

Ms. Kropog – And we would be able to attend that meeting?

Commissioner Keen – That's correct. Again, all that gets approved by the parish Council, or disapproved. That's how all of this decides. This is just a change of zoning.

Ms. Kropog – Well ok, this is just a change of zoning then that case I agree with everyone who just spoke because I live on Arline Ct. and my backyard floods these last 2 times rains that we had and my street also got up to the garage, so there a problem with the flooding and adding more homes there would only make it even worse. Thank you.

Christy Hanna – 177 Thoroughbred Ave.– I opposed this rezoning, I'm not going to talk about the flooding or the other issues that were concerned about I'm going to talk about there is no need, we feel there is no need to rezone, to change the character of a small town like Montz. We are comfortable with the setting that we live in now and we would prefer not changing the zoning. We live in a country setting and it would take away the unique qualities that we currently have in Montz, therefore I oppose this request of rezoning.

Robert Thompson – 119 Arline Ct. – I want to oppose this rezoning it's across the street from my house where the only dead end street connect and we have very narrow streets where we can't even park in the street on anything else in case of emergency, fire equipment cannot get through there is a lot of you know small areas and I'm just going on record saying that's the only entrance and that would only put our street for the exit to this. So, once again I oppose.

Victoria Vicknair – 102 Liza Ct. Montz, Country Cottage – Good evening. I just want to be on record that I oppose this because an inlet and an outlet would have to be placed somewhere and I live on the last street in Country Cottage believe it or not it is a closed outlet subdivision but it already has a lot of traffic flowing through there if you just sat in y front yard and watched cause I live on last street and if you open it up to another subdivision I can't even imagine the traffic that's gonna be coming around there, this subdivision has so many buses in there because we have so many children that live in Country Cottage subdivision that actually my street and only 2 other ones they have to put one bus for that many kids right there. So I think there's like elementary has like 3 buses just for Country Cottage subdivision and if you open up the outlet on Liza Ct. for another subdivision you just bringing so many cars and so many potential for accidents to happen to the children and I'm just asking yall not to do this.

Cindy Meyers – 204 Linda Diane Ct. in Country Cottage – I live right on the ditch right in back of the, right where they want to build and this last rain event the water that came up, came up to my back patio and it was just, it was bad. So I was just watching the water come up the last few days cause I was afraid it was going to come into the house, we can't have that.

Ray Richard – 18092 River Road Montz – Yall heard from plenty of residents and I'm sure there is plenty more that will come up here and stand and talk to y'all. About an hour ago Mr. Bailey came up here and asked y'all after the recommendation not meeting all 3 criteria, he asked y'all to vote from your heart, I think there's 100 people back here that want y'all to do the same thing. They can say all they want it meets the criteria but we have pictures and video it does not, wait for the pumps to go in, then consider this, alright. Thank y'all.

Angelle LeBlanc – 117 Gloria Ct. – Thank you, I just want to say I'm opposed to this we have too many kids in our subdivision, I personally witnessed kids falling off of bikes in the middle of the street, my son, one of my sons is half deaf he's almost gotten hit by cars and if we do this it's just gonna increase the traffic and the safety of our kids. That's it.

Mr. Moyer – This is the first of multiple steps, this is just a request for rezoning, changing the rezoning does not build a street, does not do anything, it's just a request to rezone property.

The public hearing was closed.

Commissioner Keen made a motion to approve, seconded by Price.

YEAS: Price, Keen, Ross, Folse, Jr., Krajcer, Jr.
NAYS: Petit
ABSENT: Frangella
PASSED



Department of Planning & Zoning Staff Report – Map Amendment Case No. 2024-1-R

APPLICATION INFORMATION

- **Submittal Date:** 1/3/2024

- **Applicant / Property Owner**

Denver Perilloux 2237 Singleton Street Houston, TX 77008 504-201-1803 denverperilloux@gmail.com	Terry & Dana Perilloux 17956 River Road Montz, LA 70068 985-817-9482 twperilloux@rcloud.com
Chris M. Trepagnier OT Properties, LLC 17968 River Road Montz, LA 70068 985-778-0888 chris@treplawfirm.com	Chris M. Trepagnier Three 4 Three, LLC 331 Girod Street Mandeville, LA 70441 985-778-0888 chris@treplawfirm.com
Robert Oubre 23046 Mixon Road Amite LA 70422 504-559-5099 rroubre@gmail.net	

- **Request**

Change of zoning:

 - Current - O-L, Open Land District & R-1A(M), Single Family Residential Detached Conventional Homes, Manufactured Homes, and Mobile Homes - Medium density
 - Proposed - R-1A, Single family residential detached conventional homes - Medium density

SITE INFORMATION

- **Location**

The site consists of five individual tracts (P-1, 1B-1-A, 1A-1, Roussel & 3605A) situated between Dixieland and Country Cottage Subdivisions in Montz. Subject tracts 1B-1-A and 1A-1 are addressed as 17956 & 17962 River Road, Montz.
- **Size:** approximately 1,851,300 sq. ft. (42.5 acres)
- **Current Use:**

The subject site is mostly undeveloped land, some of which is wooded. Portions of Lot P-1 and the Roussel Tract have been used for agricultural purposes. A single family house is located on Lot 1B-1-A. Another single family house occupied Lot 1A-1 but has been removed.
- **Surrounding Zoning**

B-2, Batture, R-1A(M), and O-L zoning is located to the River Road side; R-1A(M) and O-L zoning is located to the Country Cottage Subdivision side; R-1A zoning is located to the Thoroughbred Avenue and Edgewood Lane sides.
- **Surrounding Uses**

The site is located in an area of Montz developed primarily with single family residential subdivisions, including Dixieland to the downriver side, Country Cottage to the upriver side, and Evangeline Estates to the Airline Drive side. Additional single family homes can be found outside of established subdivisions fronting River Road.

▪ **Zoning History**

The existing R-1A(M) and O-L districts were established in 1981.

▪ **Future Land Use Recommendation**

Low-to-Moderate Residential – Single-family detached dwellings; attached dwellings such as duplexes, patio/zero-lot line homes and townhomes; and accessory units. Neighborhood retail, services, offices and institutions are also permitted in appropriate locations such as along transportation corridors or at intersections. (over six dwellings per acre)

Recommended Zoning Districts: R-1A (6,000 sf. min. lot size), R-1B (10,000 sf. min. lot size), R-1AM (accessory units and individual mobile homes)

▪ **Flood Zone & Minimum Building Elevation**

1992 Flood Insurance Rate Map: X zone

2013 Digital Flood Insurance Rate Map: X

▪ **Traffic Access**

Lot P-1 and 3605A do not have direct frontage/access to an improved public right-of-way. The remaining tracts (1B-1-A, 1A-1, Roussel) have contiguous frontage on River Road totaling approximately 450 ft.

▪ **Utilities**

The Parish GIS map shows drainage, water, and sewer facilities along River Road. Drainage facilities are also depicted within the subject area, most notably the Coulee Canal.

A representative from the Department of Waterworks stated no burden to the water system is expect from potential resulting development.

The Director of Wastewater stated down-stream sewer improvements may be needed, but offered no objection to the rezoning request.

The Senior Parish Engineer for the Department of Public Works stated they have no objection to the rezoning request, but with any subsequent development items such as drainage will have to be addressed.

Any significant subdivision development that could result from approval of this rezoning would go through the Major Subdivision process. As part of that process the Parish reviews a Drainage Impact Analysis, Traffic Impact Analysis, and detailed construction plans to ensure new infrastructure is developed to current Parish standards and existing infrastructure and surrounding development are not adversely affected.

APPLICABLE REGULATIONS

Appendix A. Section VI. – Zoning District Criteria and Regulations

[I.] *R-1A. Single family residential detached conventional homes—Medium density.*

Policy statement: This district is composed of areas containing one-family dwellings constructed on a permanent foundation, connected to public utilities and which meet the architectural standards of a permanent residence. The district regulations are designed to protect the residential character of the areas by prohibiting all commercial activities; to encourage a suitable neighborhood environment for family life by including among the permitted uses such facilities as schools and churches; and to preserve the openness of the areas by requiring certain minimum yard and area standards to be met.

1. Use Regulations:

a. A building or land shall be used only for the following purposes:

- (1) Site-built single-family detached dwellings
- (2) Accessory uses
- (3) Private recreational uses

b. Special exception uses and structures include the following:

- (1) Parks, public libraries, fire stations, police or sheriff's stations or substations, and sewer pumping stations.
- (2) Showing the operation of historic buildings and/or sites and their related activities, provided a certificate from the United States Department of Interior is furnished by the owner verifying that the building and/or site is on the National Register of Historic Places.
- (3) Accessory uses to golf courses and country clubs limited to the following:
 - art studios
 - churches and religious institutions

- commercial recreation facilities
 - commercial schools
 - personal service businesses, examples include but are not limited to beauty shops and barber shops, acupuncture, and massage services
 - professional offices, examples include but are not limited to doctors, dentists, engineers, architects, landscape architects, plan services, realtors, insurance
 - restaurants and cafeterias
- c. Special permit uses and structures include the following:
- (1) Child care centers.
 - (2) Public and private schools (except trade, business, and industrial).
 - (3) Golf courses (but not miniature courses or driving ranges), country clubs, and accessory commercial uses on such properties.
 - (4) Educational, religious and philanthropic institutions. These buildings must be set back from all yard lines a distance of at least one (1) foot for each foot of building height.
 - (5) Modular, panelized and precut homes, provided that they are placed on a permanent foundation.
 - (6) *Reserved.*
 - (7) Private commercial access roads, upon review by the Planning Commission and supporting resolution of the Council.
 - (8) Accessory dwelling units upon approval by the Planning Commission and supporting resolution of the Council.
 - (9) Garden Home Developments in accordance with Section VII Supplemental Regulations upon review and recommendation of the Planning Commission and supporting resolution of the St. Charles Parish Council.
2. Spatial Requirements:
- a. Minimum lot size: Six thousand (6,000) square feet per family; minimum width—sixty (60) feet.
 - b. Minimum yard sizes:
 - (1) Front—Twenty (20) feet.
 - (2) Side—Five (5) feet.
 - (3) Rear—Twenty (20) feet.
 - (4) For lots with less than one hundred (100) feet depth, front setback and rear setback shall be twenty (20) percent of lot depth respectively with a minimum of ten (10) feet to the front lot line and five (5) feet to the rear lot line.
 - (5) Whenever property abuts a major drainage canal as defined by the Subdivision regulations the required setback for all structures shall be ten (10) feet measured from the inner boundary of such servitude or right-of-way, notwithstanding any other more restrictive setbacks, this provision shall not apply to any lot of record created and existing prior to the effective date of Ordinance No. 99-12-8, December 15, 1999.
 - c. Accessory buildings:
 - (1) An accessory building may occupy no more than twenty-five (25) percent of the required rear yard.
 - (2) The accessory building shall not exceed two-story construction.
 - (3) Minimum setback of accessory buildings including overhangs, shall be three (3) feet.
 - (4) Nonresidential accessory buildings shall not be permitted.
 - d. Permitted encroachments:
 - (1) Overhangs projecting not more than twenty-four (24) inches, excluding gutter. For accessory buildings, overhangs shall not be closer than three (3) feet to any property line.
 - (2) Stairs and landings not more than three (3) feet in height, projecting no more than four (4) feet into required front or rear yard.

Appendix A. Section XV. - Amendment procedure

D. Rezoning guidelines and criteria: The proponent for a change should present reasonable factual proof that two or more of the following criteria are met:

1. The proposed rezoning conforms to land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zone that is incompatible with the surrounding neighborhood.
2. The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property, and that the proposed zoning does. In order to determine what is reasonable use of the property, the proponent for the zoning change should consider one or more of the following:
 - a. Consideration of uses on adjacent properties that would limit the use of the site under consideration.
 - b. Consideration of unique or unusual physical or environmental limitations due to size, shape, topography or related hazards or deficiencies.
 - c. Consideration of changes in land value, physical environment or economic aspects which can be shown to limit the usefulness of vacant land or buildings.
3. Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.

The Planning Staff shall base rezoning analyses on these criteria but shall not be prohibited from factoring unique circumstances of the application into the analysis. The Planning and Zoning Commission may state in its recommendations to the Council: its concurrence with, or rejection of, any or all of the proponents' case for the suggested amendment, and/or its position relative to proponents' statements on the case. Planning Staff analyses and recommendations shall be forwarded to the Council along with the Commission's recommendations.

E. Rezoning approval criteria: Before the Council votes to approve a rezoning, there should be reasonable factual proof by the applicant that:

1. The proposed map amendment is in compliance, or is not in conflict, with the goals and recommendations of the St. Charles Parish Comprehensive Plan and Future Land Use Map, also
2. The proposed map amendment does not negatively impact the health, safety, and welfare of the community.

REZONING GUIDELINE & CRITERIA EVALUATION

1. *The proposed rezoning conforms to the land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zoning that is incompatible with the surrounding neighborhood.*

The subject site is within an area designated *Low-Moderate Residential*, which anticipates development of those residential uses typically permitted in the R-1A, R-1B, and R-1A(M) zoning districts. The request would not be considered a spot zone since it covers a large area and expands on an adjacent R-1A district. The proposed R-1A zoning does conform to the land development pattern established by the Future Land Use Map and furthers the goal of the Comprehensive Plan. **The request meets the first guideline.**

2. *The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property and the proposed zoning does.*

Montz has been the subject of five large-scale rezonings to R-1A causing significant shifts in the land-use pattern/character:

- PZR-1990-04; Ordinance No. 90-3-1 – Evangeline Road from River Road to the CN Railroad
- PZR-1990-08; Ordinance No. 90-5-6 – Evangeline Road to from the CN Railroad to Airline Drive
- PZR-2001-03; Ordinance No. 01-2-5 – Evangeline Estates Subdivision
- PZR-2002-06; Ordinance No. 02-5-1 – Country Cottage Estates Subdivision
- PZR-2003-06; Ordinance No. 03-5-15 – Country Cottage Estates Subdivision

Large-scale, planned residential subdivision development in Montz had long been limited to Evangeline Road (Evangeline City, 1927) and Thoroughbred Avenue (Dixieland, 1977 & 1979). Development in the remaining area was sparse and consisted of either heavily wooded undeveloped land, agricultural uses, or individually developed residences along River Road. The early 2000s marked a significant shift in the land use pattern of Montz. The above referenced rezonings in 2001, 2002, and 2003 allowed for the introduction of typical suburban single family subdivisions with the development of Country Cottage Estates (263 lots, 2002-2006) and Evangeline Estates (70 lots, 2002-2004).

The existing zoning is not necessarily unreasonable. Those uses permitted in the R-1A district can be permitted in the R-1A(M) and O-L districts. But the proposed R-1A zoning would be more reasonable as it would permit the type of development that is more in line with the current land-use pattern and character of Montz as detailed above. **The request meets the second guideline.**

3. *Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.*

The proposed R-1A zoning would be compatible with the surrounding neighborhood character consisting primarily of single family residential homes, most of which within typical residential subdivisions (Dixieland, Country Cottage Estates, Evangeline Estates).

R-1A zoning would allow for residential development at a higher density compared to what could be permitted under the primarily O-L zoning (6,000 sq. ft. lot minimum vs. 20,000 sq. ft. lot minimum), so increased impact to public facilities could be expected and must be accounted for as part of any resulting development. At this time the Department of Waterworks stated no additional burden to their system would occur.

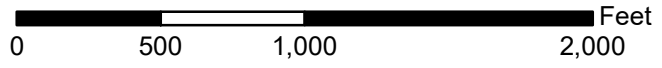
The Director of the Department of Wastewater stated that while down-stream sewer improvements may be necessary, there is no objection to the proposed zoning change. Any significant subdivision development resulting from this request would go through the Major Subdivision process. As part of this process, detailed plans are reviewed to ensure new water, sewer, and drainage infrastructure will be built to Parish standards, and any adverse impact to existing facilities identified and mitigated. **The request meets the third guideline.**

DEPARTMENT RECOMMENDATION

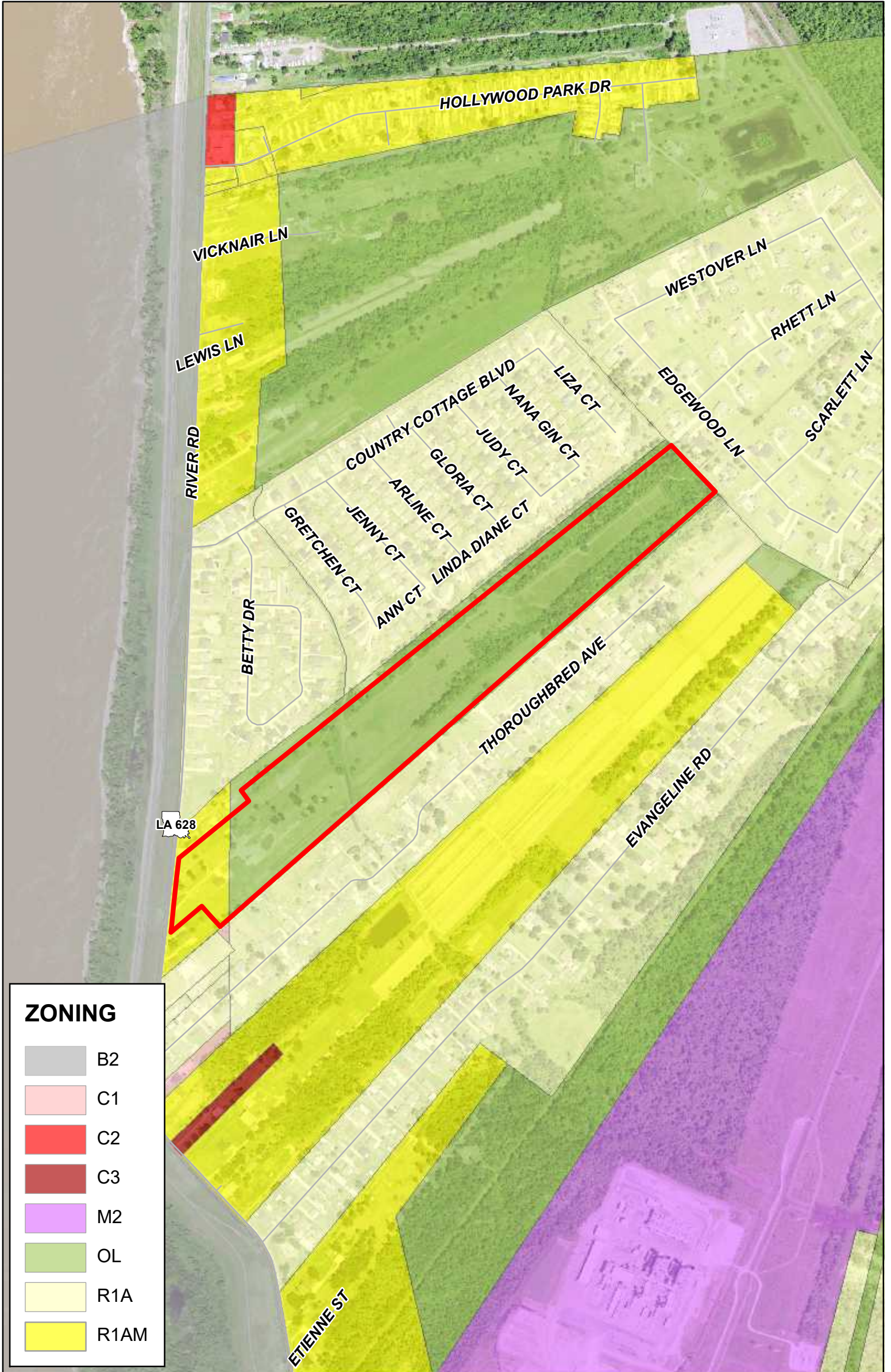
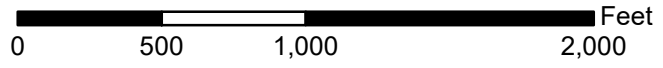
Approval, based on meeting all rezoning criteria.

This request will be forwarded with the Planning Commission's recommendation to the Parish Council for a second public hearing and final determination.

2024-1-R
O-L & R-1A(M) to R-1A

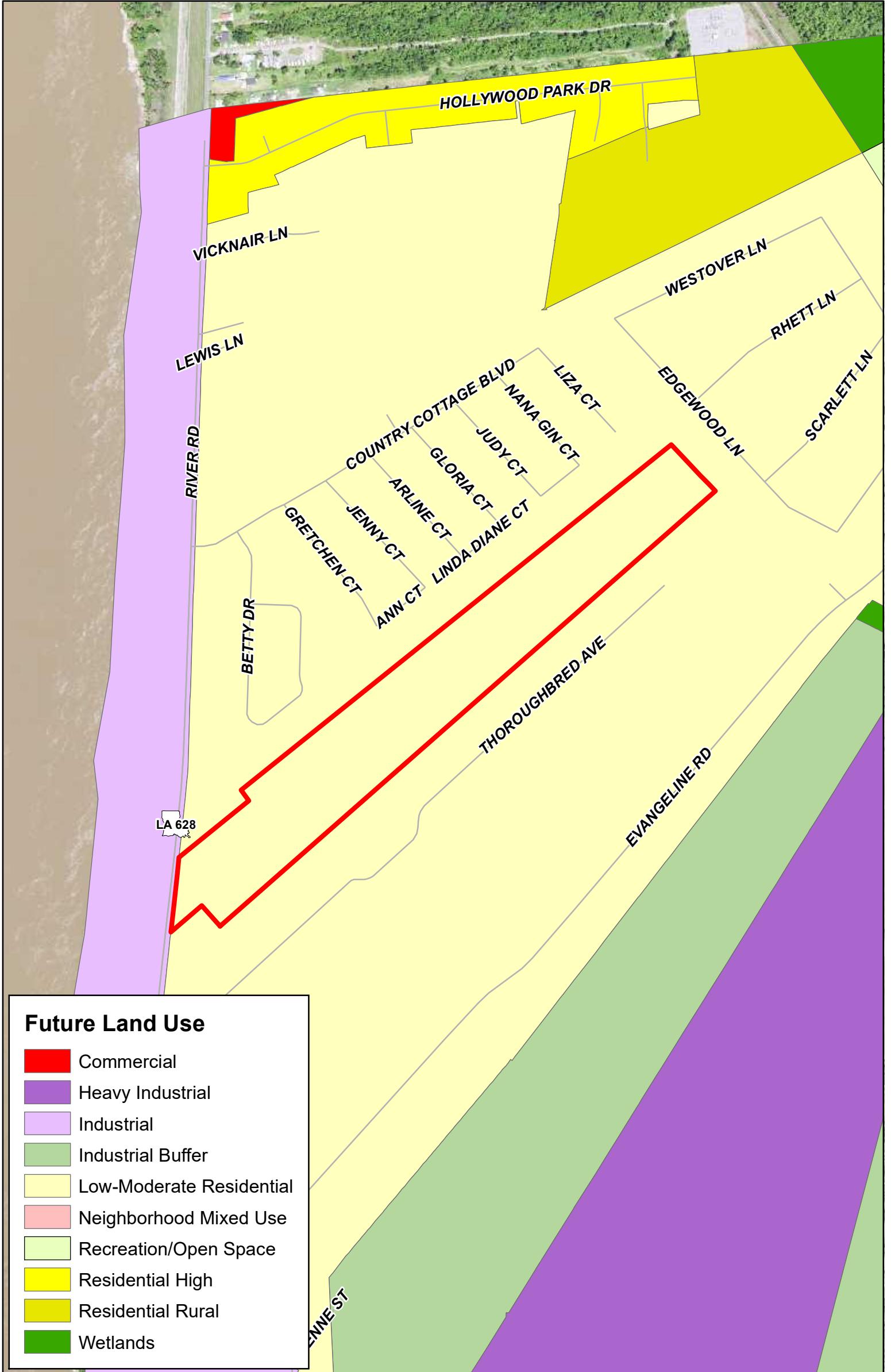
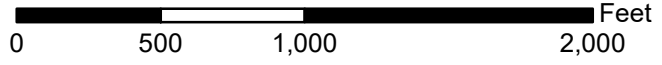


2024-1-R O-L & R-1A(M) to R-1A



ZONING	
	B2
	C1
	C2
	C3
	M2
	OL
	R1A
	R1AM

2024-1-R
O-L & R-1A(M) to R-1A



River Road

2024-1-R



















Thoroughbred

Denver



Bailey





St. Charles Parish
Department of Planning & Zoning
 14996 River Rd / P.O. Box 302 • Hahnville, LA 70057
 Phone (985) 783-5060 • Fax (985) 783-6447
 www.stcharlesparish-la.gov

Permit/Case #:	_____
Receipt #:	_____
Application Date:	_____
Zoning District:	_____
FLUM Designation:	_____
Date Posted:	_____

**APPLICATION FOR ZONING MAP AMENDMENT
 (CHANGE OF ZONING DISTRICT OR REZONING)**

Fees: \$40 - \$200

Applicant: Denver Perilloux

Home address: 2237 Singleton St. Houston, Tx, 77008

Mailing address (if different): _____

Phone #: 504-201-1803 Email: denverperilloux@gmail.com

Property owner: Denver Perilloux

Municipal address of property: 17950 River Road, Montz, LA, 70068

Lot, block, subdivision: Lot P-1, Being a Resubdivision of St. Germain Property in Section 6, T12S-R7E

Change of zoning district from: OL to: R1-A

Future Land Use designation of the property: Low - Moderate Residential
 (A fact sheet on Future Land Use designations is available at the Planning and Zoning Department).

Your written responses below will be forwarded to the Planning and Zoning Commission and Parish Council to help them make a determination on the merits of your request.

Describe how you plan to use the property if the rezoning is granted: Development of residential subdivision.

What types of activities occur on adjacent properties today? How is your proposed use compatible with the neighborhood?

Residential. Proposed use is the same as adjacent properties.

Is there something about the property or the surrounding neighborhood that make the rezoning necessary?

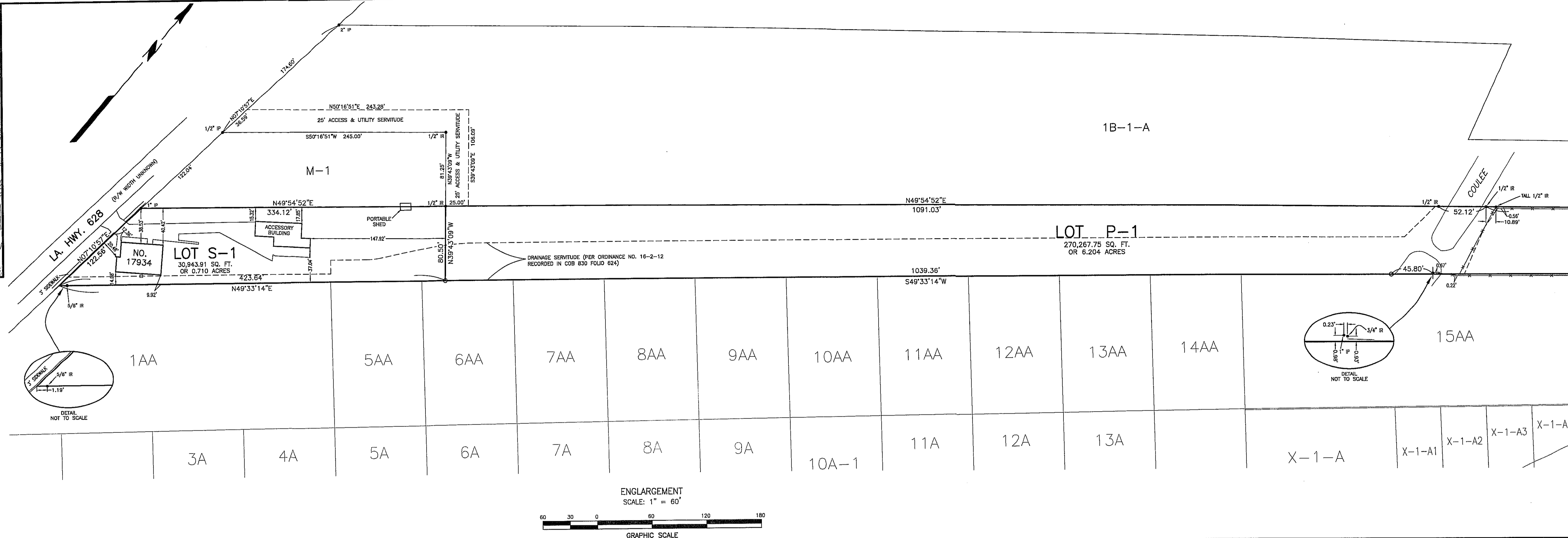
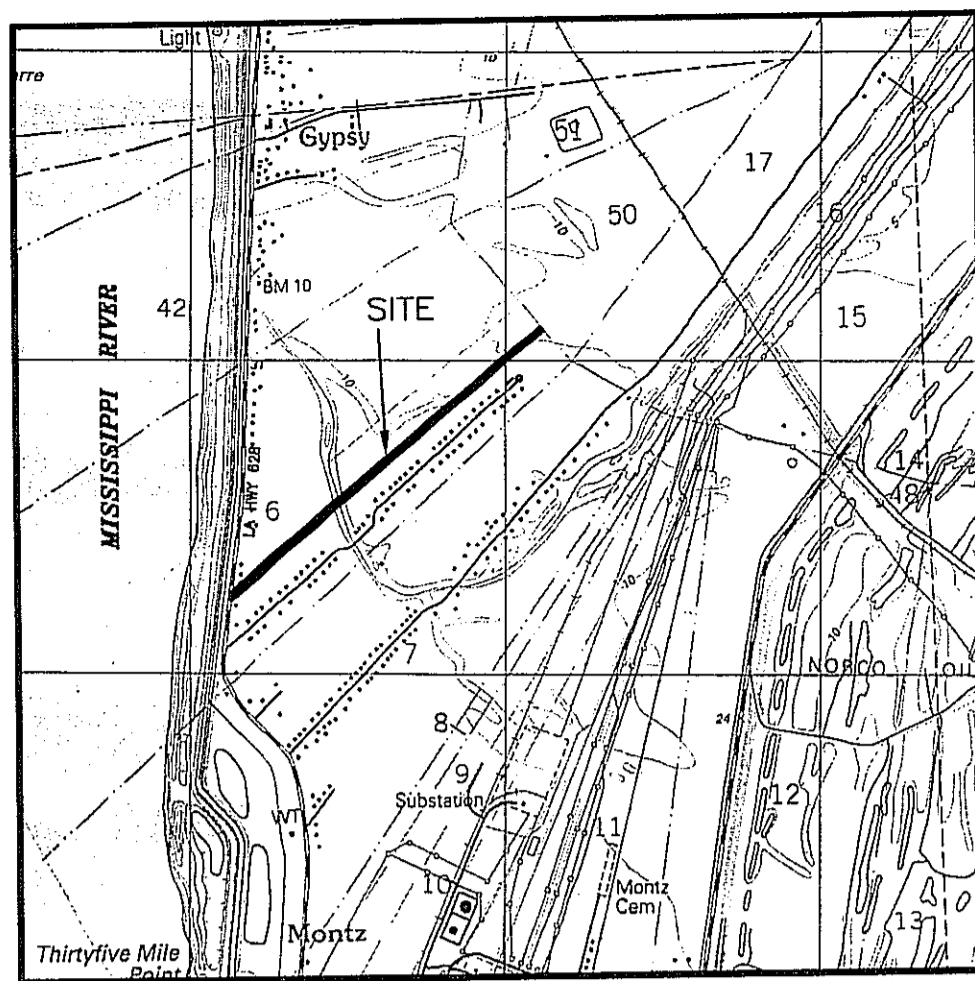
Property is surrounded by residential neighborhoods.

How does your proposed use of the property comply with the Future Land Use designation for the property?

Future land use is designated as low to moderate residential.

If the property is rezoned, but your project does not develop, explain how other uses allowed in the new zoning district are compatible with the existing neighborhood? A list of allowed uses is available at the Planning and Zoning Department.

The new zoning district is compatible because the subject property is surrounded by residential development.



APPROVALS:

Comm. Joseph 9/5/19 Date

St. Charles Parish Council 9/23/19 Date

St. Charles Parish President 9-26-19 Date

Recorded in the Clerk of Court's office
 St. Charles Parish on the 3 day of
 Oct 2019 in Book 883
 Folio 43 Entry # 444056

- REFERENCE PLANS:
1. DIXIELAND SUBDIVISION BY S. K. LANDRY, DATED NOVEMBER 18, 1977
 2. DIXIELAND SUBDIVISION EXTENSION BY J. J. FERRELL AND ASSOCIATES, DATED AUGUST 9, 1979
 3. PLAN SHOWING THE RESUBDIVISION OF PLOT X OF DIXIELAND SUBDIVISION INTO LOTS 79 THRU 86 AND PLOT X-1 BY S. K. LANDRY, DATED JANUARY 28, 1983
 4. PLAN SHOWING SUBDIVISION OF A PORTION OF SECTION 6, TOWNSHIP 12 SOUTH, RANGE 7 EAST (INTO LOTS 1A THROUGH 14A) BY GERALD SIMANSON, INC., DATED JANUARY 19, 1984
 5. SURVEY PLAN AND RESUBDIVISION OF THE C. L. BOURGIERE ESTATE LYING BETWEEN THE MISSISSIPPI RIVER AND LAKE PONCHARTRAIN INTO TRACTS HEREIN DESIGNATED AS TRACTS 1, 2, 3, 4, 5, 6 & 7 OF THE C. L. BOURGIERE ESTATE BY RIVERLANDS SURVIVING COMPANY, STEPHEN P. FLINN, P.L.S., DATED FEBRUARY 22, 2001
 6. RESUBDIVISION OF A PORTION OF TRACT 3 AND TRACT 5 INTO SQ. 1, LOTS 1-5 & 28-35; SQ. 2 LOTS 1-10; AND SQ. 3 LOTS 1-6 DUNAGLINE ESTATES, PHASE 1, BY BBN CORPORATION, L.L.C., STANLEY K. TURNER, LAND SURVEYOR, DATED JULY 31, 2002, REVISED AUG. 30, 2002 AND NOV. 1, 2002
 7. BAILEY PROPERTY SUBDIVISION, PLAN SHOWING THE SUBDIVISION OF SUB-TRACTS 1, 2, AND 3, OF THE ONE ARPENT TRACT OBTAINED FROM VICTORINE AVRIL BAILEY INTO THE REMAINDER OF SUB-TRACTS 1, 2, 3 AND LOTS 29A-54A BY BODIN AND WEBB, INC. CONSULTING ENGINEERS, WILLIAM J. BODIN, JR., LAND SURVEYOR, DATED SEPTEMBER 10, 2004
 8. BAILEY PROPERTY SUBDIVISION, RESUBDIVISION OF THE REMAINDER OF SUB-TRACTS 1, 2 AND 3 INTO LOTS 1B, 14A, AND 54A-154A BY BODIN AND WEBB, INC. CONSULTING ENGINEERS, WILLIAM J. BODIN, JR., LAND SURVEYOR, DATED SEPTEMBER 10, 2004
 9. RESUBDIVISION OF TRACT 1B-1 AND SONEY MILE, AS TRACT INTO LOT M-1 AND TRACT 1B-1-A BY LUCIEN C. GASSEN, PLS, DATED NOVEMBER 19, 2013
 10. SURVEY PLAN AND RESUBDIVISION OF LOT 32 OF DIXIELAND SUBDIVISION EXTENSION, A PORTION OF THE 1' RESERVED STRIP AND LOT 32A OF THE BAILEY PROPERTY SUBDIVISION INTO A LOT HEREIN DESIGNATED AS LOT 32A-1 OF DIXIELAND SUBDIVISION EXTENSION BY RIVERLANDS SURVIVING COMPANY, STEPHEN P. FLINN, P.L.S., DATED MARCH 28, 2014
 11. DRAINAGE SERVITUDE REQUIRED DRAINAGE SERVITUDES FOR A PORTION OF COULLEE CANAL BY G.E.C., INC., DATED APRIL 21, 2015, REVISED AUGUST 25, 2015
 12. SURVEY PLAN AND RESUBDIVISION OF LOT 37 OF DIXIELAND SUBDIVISION EXTENSION, A PORTION OF THE 1' RESERVED STRIP AND LOT 37A & LOT 38A OF THE BAILEY PROPERTY SUBDIVISION INTO A LOT HEREIN DESIGNATED AS LOT 37A-1 OF DIXIELAND SUBDIVISION EXTENSION BY RIVERLANDS SURVIVING COMPANY, STEPHEN P. FLINN, P.L.S., DATED MAY 31, 2016

The servitudes shown on this survey are limited to those set forth per information furnished by the owner or his agent and there is no representation that all applicable servitudes are shown hereon. No title search or public record search was made in compiling data for this survey.

NOTE:
 ALL NECESSARY SEWER, WATER AND/OR OTHER UTILITY EXTENSIONS, RELOCATIONS OR MODIFICATIONS SHALL BE MADE BY AND SOLELY AT THE LOT OWNER'S EXPENSE.

LEGEND
 ● = FOUND
 ○ = 1/2" IRON ROD SET
 IP = IRON PIPE
 R = IRON ROD
 --- = FENCE

RESUBDIVISION OF
 ST. GERMAINE PROPERTY
 INTO LOTS S-1 & P-1
 IN SECTION 6, T12S - R7E
 MONTZ, ST. CHARLES PARISH, LOUISIANA
 SCALE: 1" = 200'
 MAY 29, 2019
 UPDATED AUGUST 7, 2019

CERTIFIED TO DENVER W. PERILLLOUX
 & LEONIE ST. GERMAIN, JR., ET ALS

I certify that this plot represents an actual ground survey performed under my supervision and is in accordance with the Louisiana standards of practice for a Class C survey.

LOUIS J. GASSEN JR., PLS
 Registration No. 49445
 (985) 785-0745
 1026 Gassan Street
 Luling, Louisiana 70070

LUCIEN C. GASSEN
 SURVEYING SERVICES



**St. Charles Parish
Department of Planning & Zoning**

14996 River Rd / P.O. Box 302 • Hahnville, LA 70057
Phone (985) 783-5060 • Fax (985) 783-6447
www.stcharlesparish-la.gov

Permit/Case #:	_____
Receipt #:	_____
Application Date:	_____
Zoning District:	_____
FLUM Designation:	_____
Date Posted:	_____

**APPLICATION FOR ZONING MAP AMENDMENT
(CHANGE OF ZONING DISTRICT OR REZONING)**

Fee: \$40 - \$200

Applicant: OT Properties, LLC
 Home address: 17968 River Road
 Mailing address (if different): Same
 Phone #s: 985-778-0888 Email: chris@trop law firm.com
 Property owner: OT Properties, LLC
 Municipal address of property: 17968 River Road, Montz, LA 70068
 Lot, block, subdivision: Lot 3676
 Change of zoning district from: OL to: R1-A
 Future Land Use designation of the property: low - moderate residential
 (A fact sheet on Future Land Use designations is available at the Planning and Zoning Department).

Your written responses below will be forwarded to the Planning and Zoning Commission and Parish Council to help them make a determination on the merits of your request.

Describe how you plan to use the property if the rezoning is granted: Development of a residential subdivision.

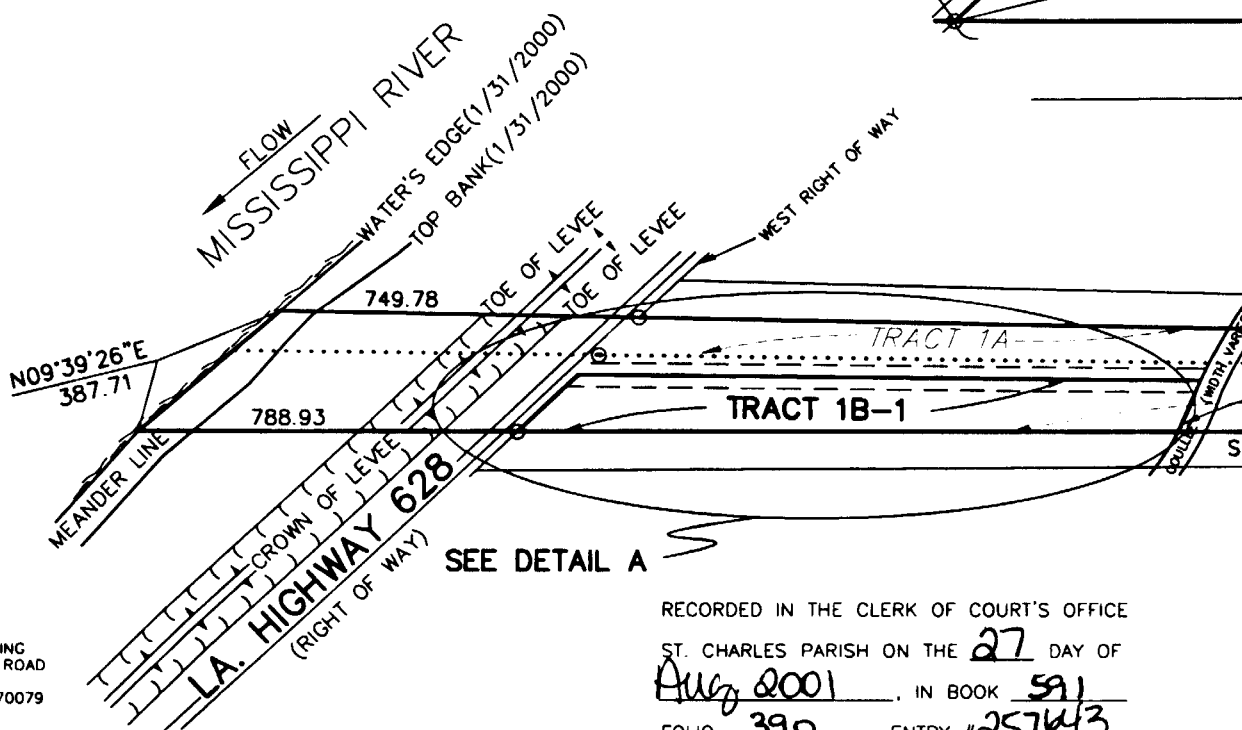
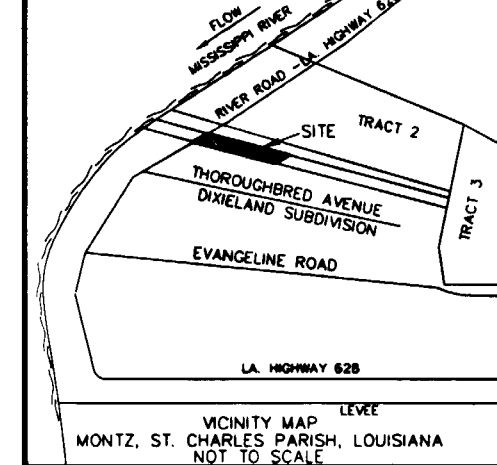
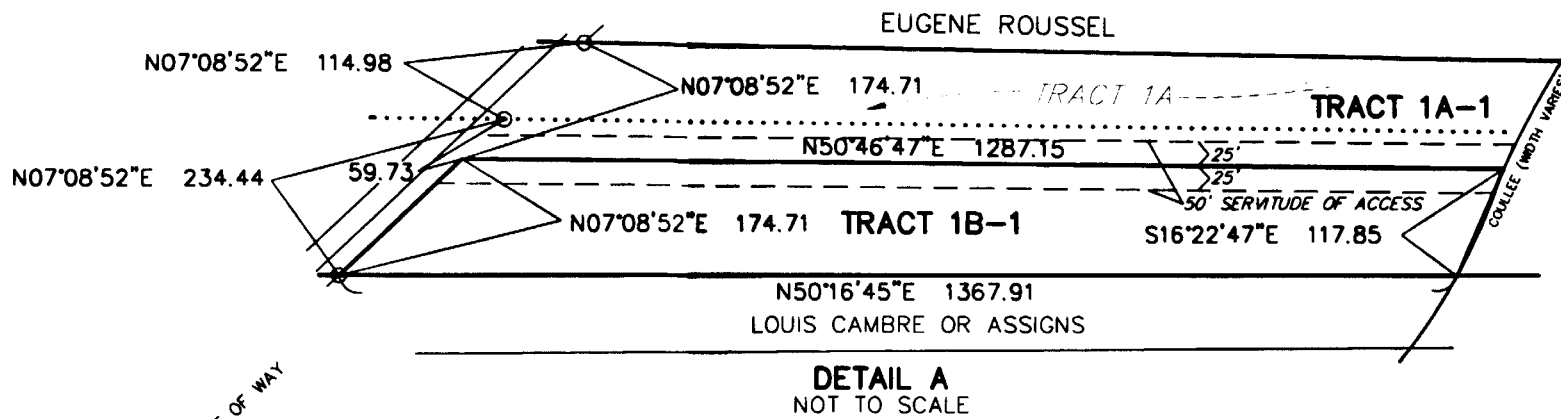
What types of activities occur on adjacent properties today? How is your proposed use compatible with the neighborhood?
Residential. Proposed use is the same as adjacent properties.

Is there something about the property or the surrounding neighborhood that make the rezoning necessary?
Property is surrounded by residential neighborhoods.

How does your proposed use of the property comply with the Future Land Use designation for the property?
Future land use is designated as low to moderate residential.

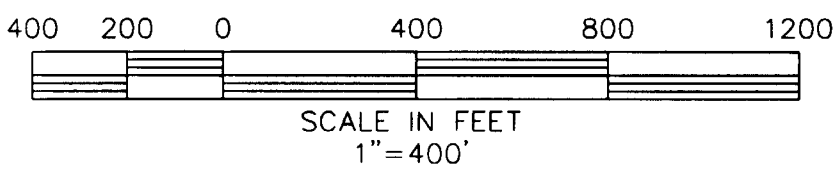
If the property is rezoned, but your project does not develop, explain how other uses allowed in the new zoning district are compatible with the existing neighborhood? A list of allowed uses is available at the Planning and Zoning Department.
The new zoning district is compatible because the subject property is surrounded by residential development.

- TRACT 1A-1 AREA INCLUDES 873,820 SQUARE FT. 20.06 ACRES
- TRACT 1B-1 AREA INCLUDES 151,592 SQUARE FT. 3.48 ACRES



DEVELOPER:
BOB OURBE
NORCO REFINING
15536 RIVER ROAD
P.O. BOX 10
NORCO, LA. 70079

- LEGEND**
- 3/4" IRON PIPE FOUND
 - OLD GRATE BAR FOUND



RECORDED IN THE CLERK OF COURT'S OFFICE
ST. CHARLES PARISH ON THE 27 DAY OF
Aug 2001, IN BOOK 591
FOLIO 390, ENTRY #25743
Wm Waters Adm. Assistant
SIGNATURE TITLE

APPROVED:

Albert A. Leger 8/23/2001
PARISH PRESIDENT DATE

[Signature] 08/22/2001
DIRECTOR, DEPT. OF PLANNING AND ZONING DATE

THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.

LOUISIANA ONE CALL 1-800-272-3020

TITLE: SURVEY PLAT AND RESUBDIVISION OF TRACTS 1A & 1B, MILLET PLACE PROPERTY, INTO TRACTS HEREIN DESIGNATED AS TRACT 1B-1 & TRACT 1A-1 MILLET PLACE PROPERTY, SITUATED IN SECTION 6, T-12-S, R-7-E, MONTZ, ST. CHARLES PARISH, LOUISIANA.

DATE: AUGUST 15, 2001

SURVEY REFERENCE: SURVEY OLAT OF TRACTS 1A & 1B, MILLET PLACE PROPERTY BY S.P. FLYNN, P.L.S., DATED 6/11/2001.

BASIS OF BEARING: WEST RIGHT OF WAY LINE OF LA. HIGHWAY 628 TAKEN FROM REFERENCED SURVEY PLAT.

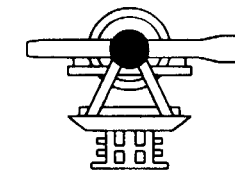
FLOOD NOTE: THE SURVEYED PARCEL IS IN ZONE "X" PER FEDERAL INSURANCE RATE MAP NUMBER 220160-0050B DATED 6/16/1992.

- SURVEYOR'S NOTES:**
- I CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME AND CONFORMS TO THE REQUIREMENTS FOR THE MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS FOUND IN LOUISIANA ADMINISTRATIVE CODE TITLE 46:LXI, CHAPTER 25 FOR A CLASS "C" SURVEY.
 - NO TITLE OPINION WAS PROVIDED TO THIS FIRM, THEREFORE NO CERTIFICATION IS GIVEN TO THE EXISTENCE OF OTHER SERVITUDES OR EASEMENTS WHICH MAY EXIST OTHER THAN THOSE SHOWN.
 - NO UNDERGROUND LINES OR CONDUITS SHOWN.
 - ADJOINING PROPERTY OWNERS PROVIDED BY THE PARISH TAX ASSESSOR'S OFFICE.
 - MINIMUM SETBACK LINES AND SERVITUDES SHOWN ARE BASED ON THE REFERENCED SURVEY PLAT. THE APPROPRIATE PARISH AUTHORITY OR NEIGHBORHOOD REGULATORY BOARD SHOULD BE CONSULTED FOR FINAL DETERMINATION.
 - NO IMPROVEMENTS SHOWN.

CERTIFICATION: THIS IS TO CERTIFY THAT THIS PLAT IS MADE IN ACCORDANCE WITH LA. REVISED STATUTES 33:5051 ET. SEQ. AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND.

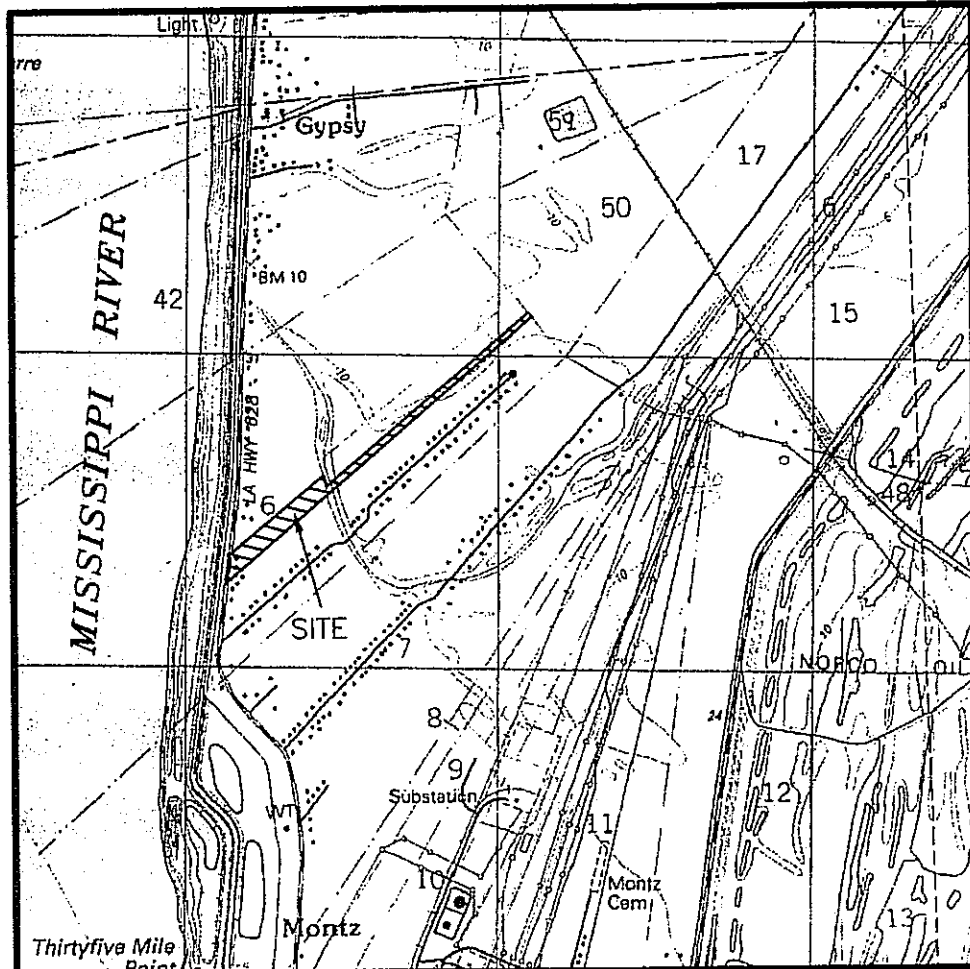
DRAWN BY: D.P.L. DRAWING NO. M4802

RIVERLANDS SURVEYING COMPANY

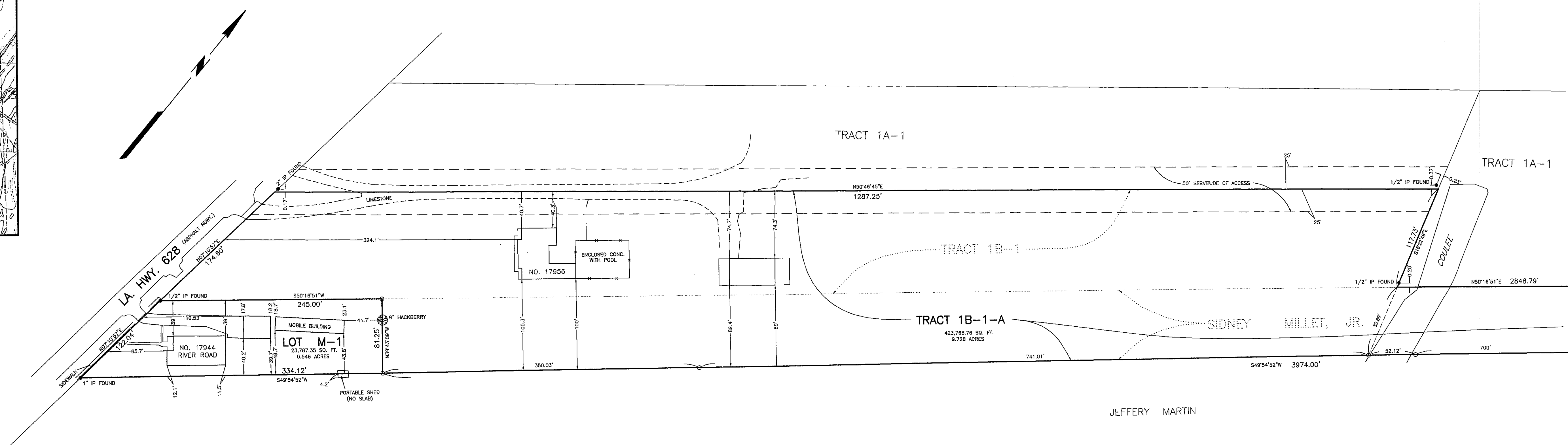


167 HOLLY DRIVE
LAPLACE, LA. 70068
1-800-248-6982
985-652-6356

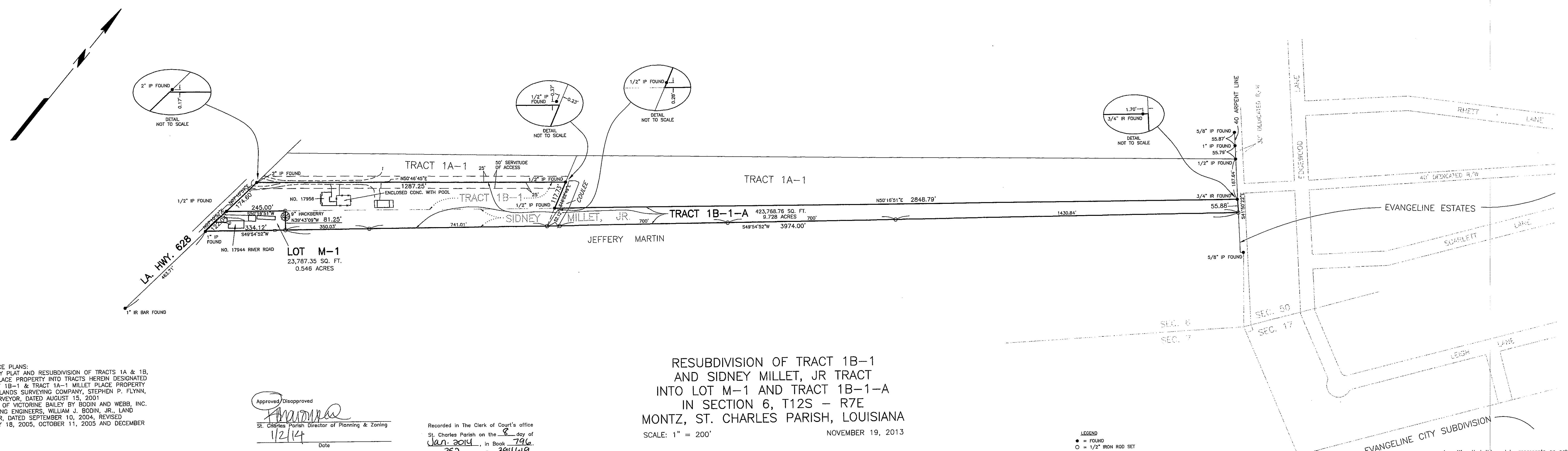
[Signature]
STEPHEN P. FEYNE
P.L.S. LA. ST. REG. NO. 4668



VICINITY MAP
SCALE: 1" = 2000'



ENLARGEMENT
SCALE: 1" = 60'



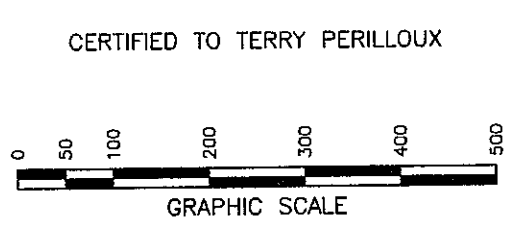
REFERENCE PLANS:
1. SURVEY PLAT AND RESUBDIVISION OF TRACTS 1A & 1B, MILLET PLACE PROPERTY INTO TRACTS HEREIN DESIGNATED AS TRACT 1B-1 & TRACT 1A-1 MILLET PLACE PROPERTY BY RIVERLANDS SURVEYING COMPANY, STEPHEN P. FLYNN, LAND SURVEYOR, DATED AUGUST 15, 2001
2. HEIRS OF VICTORINE BAILEY BY BODIN AND WEBB, INC. CONSULTING ENGINEERS, WILLIAM J. BODIN, JR., LAND SURVEYOR, DATED SEPTEMBER 10, 2004, REVISED FEBRUARY 18, 2005, OCTOBER 11, 2005 AND DECEMBER 8, 2005

Approved/Disapproved
[Signature]
St. Charles Parish Director of Planning & Zoning
Date: 1/21/14

Approved/Disapproved
[Signature]
St. Charles Parish President
Date: 1/21/14

Recorded in the Clerk of Court's office
St. Charles Parish on the 8 day of
Jan. 2014, in Book 796
Folio 352, Entry # 394619

RESUBDIVISION OF TRACT 1B-1
AND SIDNEY MILLET, JR TRACT
INTO LOT M-1 AND TRACT 1B-1-A
IN SECTION 6, T12S - R7E
MONTZ, ST. CHARLES PARISH, LOUISIANA
SCALE: 1" = 200'
NOVEMBER 19, 2013



LEGEND
● = FOUND
○ = 1/2" IRON ROD SET
IP = IRON PIPE
IR = IRON ROD
— = FENCE
BEARINGS SHOWN HEREON ARE BASED ON THE LOUISIANA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83 (2011) ESTABLISHED BY USING LOUISIANA STATE UNIVERSITY'S CAG REAL TIME NETWORK.

The servitudes shown on this survey are limited to those set forth per reference plats and there is no representation that all applicable servitudes are shown hereon. No title search or public record search was made in compiling data for this survey.

This is to certify that I have consulted the Flood Insurance Rate Maps and found that this property is in Zone X.

NOTE:
ALL NECESSARY SEWER, WATER AND/OR OTHER UTILITY EXTENSIONS SHALL BE MADE BY AND SOLELY AT THE LOT OWNER'S EXPENSE.

I certify that this plat represents an actual ground survey performed under my supervision and is in accordance with the Louisiana standards of practice for a Class C survey.

[Signature]
LUCIEN C. GASSEN, PLS
Registration No. 353
(985) 785-0745
1028 Gassen Street
Luling, Louisiana 70070



St. Charles Parish
Department of Planning & Zoning

14996 River Rd / P.O. Box 302 • Hahnville, LA 70057
Phone (985) 783-5060 • Fax (985) 783-6447
www.stcharlesparish-la.gov

Permit/Case #:
Receipt #:
Application Date:
Zoning District:
FLUM Designation:
Date Posted:

APPLICATION FOR ZONING MAP AMENDMENT
(CHANGE OF ZONING DISTRICT OR REZONING)

Fee: \$40 - \$200

Applicant: Robert Dubre
Home address: 23046 Mixon Rd Amite La 70422
Mailing address (if different):
Phone #: 501-559-5099 Email: rroubre@gmail.net
Property owner: Robert Dubre
Municipal address of property: 17962 River Rd Montz La 70068
Lot, block, subdivision: Lot 1A-1
Change of zoning district from: OL to: RTA
Future Land Use designation of the property: Low to Moderate Residential

Your written responses below will be forwarded to the Planning and Zoning Commission and Parish Council to help them make a determination on the merits of your request.

Describe how you plan to use the property if the rezoning is granted: Development of residential subdivision.

What types of activities occur on adjacent properties today? How is your proposed use compatible with the neighborhood?

Residential. Proposed use is the same as adjacent properties.

Is there something about the property or the surrounding neighborhood that make the rezoning necessary?

Property is surrounded by residential neighborhoods.

How does your proposed use of the property comply with the Future Land Use designation for the property?

Future land use is designated as low to moderate residential.

If the property is rezoned, but your project does not develop, explain how other uses allowed in the new zoning district are compatible with the existing neighborhood? A list of allowed uses is available at the Planning and Zoning Department.

The new zoning district is compatible because the subject property is surrounded by residential development.

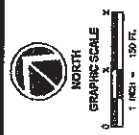
SURVEY OF LOTS 3605A, ROUSSEL TRACT, TRACT 1A-1, TRACT 1B-1-A, AND LOT P-1, SECTION 6, T12S-R7E, MONTZ, ST. CHARLES PARISH, LA

TOPOGRAPHIC SURVEY
PREPARED FOR WAYNE
WADDELL

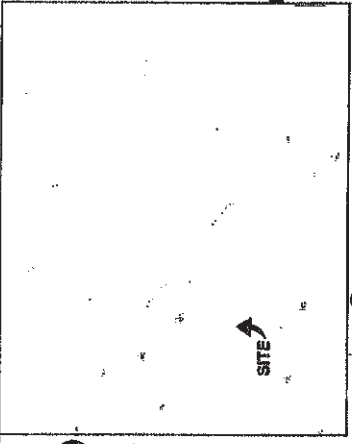
KLS Group Inc.
SURVEYING • CONSTRUCTION LAYOUT
4408 YALE ST. SUITE C & D, METairie, LA, 70006
P: 504-885-0991 INFO@KLSGROUPINC.COM
Central Well



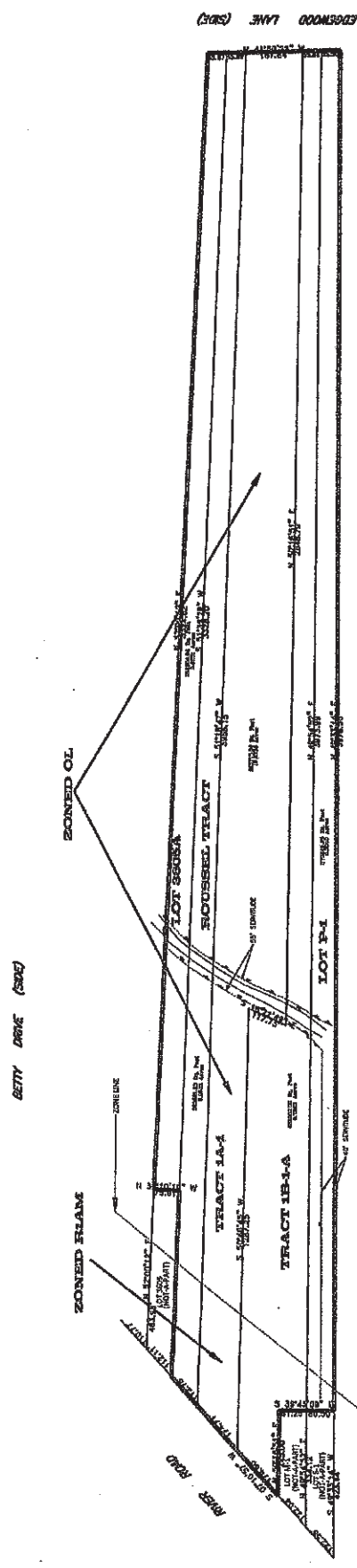
SURVEY OF LOTS 3605A,
ROUSSEL TRACT, TRACT 1A-1,
TRACT 1B-1-A, AND LOT P-1,
SECTION 6, T12S-R7E, MONTZ,
ST. CHARLES PARISH, LA



Surveyor's Seal
Sheet No. **1** of **1**
KLS Job No. 122443
P/N: NPS Drafter: JMK



VICINITY MAP
NOT TO SCALE



THIS CONSTRUCTION
IS SUBJECT TO THE
48,000 ACRES

THE LOCATIONS OF UNDERGROUND AND OTHER UNKNOWN UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA OBTAINED FROM THE ARCHIVED CONTROLLING SURVEY DATA AND/OR FROM FIELD SURVEY DATA. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS FOUND NO EVIDENCE OF ANY OTHER UTILITIES. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS FOUND NO EVIDENCE OF ANY OTHER UTILITIES. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS FOUND NO EVIDENCE OF ANY OTHER UTILITIES.

ALL ANGLES ARE OF UNLESS OTHERWISE NOTED. THIS PLAT MAY NOT BE TO SCALE. THE BOUNDARIES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SHOWN ON THE SURVEY. THE BOUNDARIES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SHOWN ON THE SURVEY. THE BOUNDARIES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SHOWN ON THE SURVEY.

THE LOCATIONS OF UNDERGROUND AND OTHER UNKNOWN UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA OBTAINED FROM THE ARCHIVED CONTROLLING SURVEY DATA AND/OR FROM FIELD SURVEY DATA. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS FOUND NO EVIDENCE OF ANY OTHER UTILITIES. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS FOUND NO EVIDENCE OF ANY OTHER UTILITIES.

HISTORY	
DT	COMMENT
	FIELD WORK COMPLETED
	DRAFTING COMPLETED





St. Charles Parish
Department of Planning & Zoning
 14996 River Rd / P.O. Box 302 • Hahnville, LA 70057
 Phone (985) 783-5060 • Fax (985) 783-6447
 www.stcharlesparish-la.gov

Permit/Case #:	_____
Receipt #:	_____
Application Date:	_____
Zoning District:	_____
FLUM Designation:	_____
Date Posted:	_____

**APPLICATION FOR ZONING MAP AMENDMENT
 (CHANGE OF ZONING DISTRICT OR REZONING)**

Fee: \$40 - \$200

Applicant: Terry & Dana Perilloux

Home address: 17956 River Road

Mailing address (if different): _____

Phone #s: 985-817-9482 Email: tperilloux@rcloud.com

Property owner: Terry & Dana Perilloux

Municipal address of property: 17956 River Road

Lot, block, subdivision: Lot 1B1A

Change of zoning district from: OL to: R1-A

Future Land Use designation of the property: Low to Moderate Residential
 (A fact sheet on Future Land Use designations is available at the Planning and Zoning Department).

Your written responses below will be forwarded to the Planning and Zoning Commission and Parish Council to help them make a determination on the merits of your request.

Describe how you plan to use the property if the rezoning is granted: Development of residential subdivision.

What types of activities occur on adjacent properties today? How is your proposed use compatible with the neighborhood?

Residential. Proposed use is the same as adjacent properties.

Is there something about the property or the surrounding neighborhood that make the rezoning necessary?

Property surrounded by residential neighborhoods.

How does your proposed use of the property comply with the Future Land Use designation for the property?

Future land use is designated as low to moderate residential.

If the property is rezoned, but your project does not develop, explain how other uses allowed in the new zoning district are compatible with the existing neighborhood? A list of allowed uses is available at the Planning and Zoning Department.

The new zoning district is compatible because the subject property is surrounded by residential development.



St. Charles Parish
Department of Planning & Zoning
 14996 River Rd / P.O. Box 302 • Hahnville, LA 70057
 Phone (985) 783-5060 • Fax (985) 783-6447
 www.stcharlesparish-la.gov

Permit/Case #:	_____
Receipt #:	_____
Application Date:	_____
Zoning District:	_____
FLUM Designation:	_____
Date Posted:	_____

**APPLICATION FOR ZONING MAP AMENDMENT
 (CHANGE OF ZONING DISTRICT OR REZONING)**

Fee: \$40 - \$200

Applicant: Three 4 Three, LLC
 Home address: 331 Girod St.
 Mailing address (if different): Same
 Phone #: 985-778-0888 Email: chris@treplawfirm.com
 Property owner: Three 4 Three, LLC
 Municipal address of property: 17978 River Road, Montz, LA 70068
 Lot, block, subdivision: Lot 3605A
 Change of zoning district from: OL to: R1-A
 Future Land Use designation of the property: low-moderate residential
 (A fact sheet on Future Land Use designations is available at the Planning and Zoning Department).

Your written responses below will be forwarded to the Planning and Zoning Commission and Parish Council to help them make a determination on the merits of your request.

Describe how you plan to use the property if the rezoning is granted: Development of a residential subdivision.

What types of activities occur on adjacent properties today? How is your proposed use compatible with the neighborhood?
Residential. Proposed use is the same as adjacent properties.

Is there something about the property or the surrounding neighborhood that make the rezoning necessary?
Property is surrounded by residential neighborhoods.

How does your proposed use of the property comply with the Future Land Use designation for the property?
Future land use is designated as low to moderate residential.

If the property is rezoned, but your project does not develop, explain how other uses allowed in the new zoning district are compatible with the existing neighborhood? A list of allowed uses is available at the Planning and Zoning Department.
The new zoning district is compatible because the subject property is surrounded by residential development.



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0090 **Version:** 1 **Name:** Change Order No. One (1) for the Barber Road Bank Stabilization, (Project No. P210702), to increase the contract amount by \$64,659.69 and increase the contract time by 7 calendar days.

Type: Ordinance **Status:** Introduced For Public Hearing

File created: 2/19/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: An ordinance approving and authorizing the execution of Change Order No. One (1) for the Barber Road Bank Stabilization, (Project No. P210702), to increase the contract amount by \$64,659.69 and increase the contract time by 7 calendar days.

Sponsors: Matthew Jewell, Department of Public Works

Indexes:

Code sections:

Attachments: [2024-0090 DOC02_05_24](#)

Date	Ver.	Action By	Action	Result
2/19/2024	1	Parish President	Introduced	

SECTION 00806

CHANGE ORDER

No. One (1)

DATE OF ISSUANCE 1/10/2024

EFFECTIVE DATE _____

OWNER St. Charles Parish

CONTRACTOR Command Construction Industries, LLC.

Contract: _____

Project: Barber Road Bank Stabilization

OWNER's Contract No. P210702

ENGINEER's Contract No. 365-021-001

ENGINEER Richard C. Lambert Consultants, LLC

You are directed to make the following changes in the Contract Documents:

Description: *See attached example on how to fill in this information*

1. Delete the Following Work Items:

a. Contract Item #**S-011: HEADWALL WITH WINGWALLS**

Delete in its entirety. 1 Ea @ \$30,000.00 per Each, (-\$30,000.00). See attached cost breakdown for details on page four (4).

Total of Deducted Items = **(-\$30,000.00)**

2. Add the Following Work Items:

a. New Contract Item #**WCD3-001: REMOVE AND REPLACE EXISTING CONCRETE DRIVES**

Addition of 54.0 SY @ \$116.24 per Square Yard, +\$ 6,276.96. See attached cost breakdown for details on page four (4).

b. New Contract Item #**WCD6-001: CONFLICT BOX**

Addition of 1 Ea @ \$10,724.53 per Each, +\$ 10,724.53. See attached cost breakdown for details on page four (4).

c. New Contract Item #**COR7-001: ADJUST DRAIN INLETS (Over 6")**

Addition of 1 Ea @ 3,667.20 per Each, +\$ 3,667.20. See attached cost breakdown for details on page four (4).

Total of Added Work Items = **(+\$20,668.69)**

3. Revise the Following Work Item Quantities:

a. Increase Contract Item #**701-03-01022: 18" STORM DRAINPIPE (CPPPDW)**

Addition of 85 LF @ \$250.00 per Linear Foot, +\$ 21,250.00. See attached cost breakdown for details on page four (4) and WCD#3 & #5.

b. Increase Contract Item #**701-03-01042: 24" STORM DRAINPIPE (CPPPDW)**

Addition of 99 LF @ \$350.00 per Linear Foot, +\$ 34,650.00. See attached cost breakdown for details on page four (4) and WCD #4 & #6.

c. Increase Contract Item #**711-01-00300: RIP RAP (30 LB, 14" THICK)**

Addition of 33.33 SY @ \$100.00 per Square Yard, +\$ 3,333.00. See attached cost breakdown for details on page four (4) and WCD #2, #3, & #5.

d. Increase Contract Item #**TS-741-10009: 8" WATER LINE OFFSET**

Addition of 2 Ea @ \$10,000.00 per Each, +\$ 20,000.00. See attached cost breakdown for details on page four (4) and WCD #1.

e. Increase Contract Item #**S-004: DRAINAGE STABILIZATION WALERS**

Addition of 2 Ea @ \$1000.00 per Each, +\$ 2,000.00. See attached cost breakdown for details on page four (4) and WCD #2, & #3.

f. Increase Contract Item # **NS-203-00006: EXPLORATORY EXCAVATION**

Addition of 34.36 CY @ \$300.00 per Cubic Yard, +\$10,308.00. See attached cost

breakdown for details on page four (4) and WCD #7.

- g. Decrease Contract Item #701-03-01062: 30" STORM DRAINPIPE (CPPPDW)
Reduction of 39 LF @ \$450.00 per Linear Foot, (-\$17,550.00). See attached cost breakdown on page four (4) for details and WCD#2, #4, #6 including overruns.

Total of Change in Work Items Quantity = (+\$73,991.00)

Reason for Change Order: List a reason for each Line Item listed above. *See attached example on how to fill in this information.*

1. Deleted Work Items
 - a. In reference to RFI 009, the existing 60" CMP pipe at Sta. 110+25 is deteriorating along the bottom half of the pipe preventing a proper tie in at the proposed wing wall. SCP determined that excluding the wing wall from the current project scope and addressing it in a future drainage project when it can be completely replaced is the optimal solution.
2. Add Work Items
 - a. In reference to RFI 11, during a field investigation of an existing pipe outfall at Sta. 121+00, Command discovered a 15" CMP crossing beneath Barber Rd. and tying into a buried drain inlet in a resident driveway. The contractor was directed to replace the existing 15" CMP with 18" Storm Drainpipe (CPPPDW) and adjust the top of existing box to the driveway elevation with closed top frame and cover.
 - New Contract Item #WCD3-001: REMOVE AND REPLACE EXISTING CONCRETE DRIVES
 - b. In reference to RFI #5 & COR #4, during excavation of the existing 24" PVC drain line, Command discovered multiple utility conflicts with the proposed 30" drain line. The contractor was directed to replace the existing D.I. with a conflict box (Brick or CIP) using bituminous coated corrugated steel split casing around the existing sewer house connection and tie in existing 15" RCP drainage to new conflict box. Split casing to be 8" min (up sized from existing 6" sewer line). In addition, replace the existing 24" PVC drain line with 24" STORM DRAINPIPE (CPPPDW) in lieu of the proposed 30" Pipe to avoid existing SFM and gas line utility conflicts.
 - New Contract Item #WCD6-001: CONFLICT BOX
 - c. In reference to COR#7, D.I. #4 was utilized to minimize the additional costs to install a D.I. at the discovered cross drain at Sta. 116+50. However, due to the depth of the existing cross drain the box needs to be bricked up over 6" to bring the top of casting to grade.
 - New Contract Item #COR7-001: ADJUST DRAIN INLETS (Over 6")
3. Revise Work Item Quantities
 - a. \$83,342.49 = Total of Work Change Directives #1 - #7.
 - b. \$3,667.20 = Total Change Order Request #7.
 - c. \$7,560.00 = Total overruns for item 701-03-01062 - 30" STORM DRAIN PIPE (CPPPDW) 17 LF.
 - d. (\$30,000.00) = Total reduction of cost for eliminating S-011 - HEADWALL WITH WINGWALLS.
 - e. \$64,659.69 = Sum of the above.

***See attached breakdown of contract items on page 4.**

Attachments: (List documents supporting change)

1. Page 4 – Change Order breakdown spreadsheet.
2. Pages 5 - 40 – Work Change Directives #1 - #7
3. Pages 41 - 43 – Change Order Request #7

CHANGE IN CONTRACT PRICE:
Original Contract Price \$ 2,880,543.00
Net Increase (Decrease) from previous Change Orders No. ___ to ___: \$ 0
Contract Price prior to this Change Order: \$ 2,880,543.00
Net increase (decrease) of this Change Order: \$ +64,659.69
Contract Price with all approved Change Orders: \$ 2,945,202.69

CHANGE IN CONTRACT TIMES:
Original Contract Times: Substantial Completion: 150 Calendar days Ready for final payment: _____ (days or dates)
Net change from previous Change Orders No. ___ to No. ___: Substantial Completion: 0 Calendar days Ready for final payment: _____ (days)
Contract Times prior to this Change Order: Substantial Completion: _____ Ready for final payment: _____ (days or dates)
Net increase (decrease) this Change Order: Substantial Completion: 7 Calendar days Ready for final payment: _____ (days)
Contract Times with all approved Change Orders: Substantial Completion: 157 Calendar days Ready for final payment: _____ (days or dates)

RECOMMENDED:

By: *Keith Ledet*
ENGINEER (Authorized Signature)

APPROVED:

By: _____
OWNER (Authorized Signature)

ACCEPTED:

By: *[Signature]*
CONTRACTOR (Authorized Signature)

Date: 01/30/2024

Date: _____

Date: 1/30/2024

**SECTION 00806
CHANGE ORDER**

CHANGE ORDER

PROJ. NO. P210702
NAME BARBER ROAD BANK STABILIZATION

Change Order No. One(1)

Date Initiated: January 22, 2024

Engineer's description, explanation, & estimated cost of proposed revision:

Page 1 of 1

In order to facilitate plans for local development, the Parish has opted to make changes / additions to the Project requirements that result in quantity changes to the following existing items:

WCD #1: Sta. 118+08
 Increase Item TS-741-10009 - 8" WATER LINE OFFSET - 2 Each
 COR #7 & WCD #2:(RFI12) Sta. 116+50
 Increase Item 701-03-01062 - 30" STORM DRAIN PIPE (CPPPDW) - 43 LF
 Increase Item 711-01-00300 - RIP RAP (30 LB, 14" THICK) - 11.11 SY (10' x 10')
 Increase Item S-004 - DRAINAGE STABILIZATION WALERS - 1 Each
 Add Item COR7-001 - ADJUST DRAIN INLETS (OVER 6") 1 Each
 COR#5 & WCD #3:(RFI 11) Sta. 121+00
 Increase Item 701-03-01022 - 18" STORM DRAIN PIPE (CPPPDW) - 35 LF
 Increase Item 711-01-00300 - RIP RAP (30 LB, 14" THICK) - 11.11 SY (10' x 10')
 Increase Item S-004 - DRAINAGE STABILIZATION WALERS - 1 Each
 Add Item WCD3-001 - REMOVE AND REPLACE EXISTING CONCRETE DRIVES - 54 SY
 OVERRUNS - Increase 701-03-01062 - 30" STORM DRAIN PIPE (CPPPDW) 17 LF

WCD #4:(RFI 10) Sta. 121+26
 Increase Item 701-03-01042 - 24" STORM DRAIN PIPE (CPPPDW) - 35 LF
 Decrease Item 701-03-01062 - 30" STORM DRAIN PIPE (CPPPDW) - (35LF)
 WCD #5: Sta. 132+42 & 115+79
 Increase Item 701-03-01022 - 18" STORM DRAIN PIPE (CPPPDW) - 50 LF (40 LF for Sta. 132+42 & 10 LF for Sta. 115+79)
 Increase Item 711-01-00300 - RIP RAP (30 LB, 14" THICK) - 11.11 SY
 COR#4 & WCD #6: Sta. 113+40
 Add Item WCD6-001 - CONFLICT BOX - 1 Each
 Increase Item 701-03-01042 - 24" STORM DRAIN PIPE (CPPPDW) - 64 LF
 Decrease Item 701-03-01062 - 30" STORM DRAIN PIPE (CPPPDW) - (64 LF)
 WCD #7: Sta. 116+50 & 121+00
 NS-203-00006 EXPLORATORY EXCAVATION - 34.36 CY

There is requested increase in contract time of Seven (7) days due to the cost of the above changes.

The preceding will necessitate the following changes in quantities (if space is not sufficient, use extra forms):

ITEM NO.	ITEM	UNIT	UNIT PRICE	REVISED (CO #1)		ORIGINAL		ADDITIONAL	
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	CHANGE ORDER QUANTITY	AMOUNT
201-01-00100	CLEARING AND GRUBBING	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
202-01-00100	REMOVAL OF STRUCTURES AND OBSTRUCTIONS	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
203-05-00100	EXCAVATION AND EMBANKMENT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
204-02-00100	TEMPORARY HAY OR STRAW BALES	EACH	\$ 10.00	75.0	\$750.00	75.0	\$750.00		\$0.00
204-06-00100	TEMPORARY SILT FENCING	LIN. FT.	\$ 5.00	3,237.0	\$16,185.00	3,237.0	\$16,185.00		\$0.00
502-01-00100	ASPHALT CONCRETE	TON	\$ 280.00	1,699.0	\$475,720.00	1,699.0	\$475,720.00		\$0.00
509-01-00100	MILUNG ASPHALT PAVEMENT (1"THICK)	SQ. YD.	\$ 5.00	8,617.0	\$43,085.00	8,617.0	\$43,085.00		\$0.00
701-03-01022	18" STORM DRAIN PIPE (CPPPDW)	LIN. FT.	\$ 250.00	149.0	\$37,250.00	64.0	\$16,000.00	85.00	\$21,250.00
701-03-01042	24" STORM DRAIN PIPE (CPPPDW)	LIN. FT.	\$ 350.00	242.0	\$84,700.00	143.0	\$50,050.00	99.00	\$34,650.00
701-03-01062	30" STORM DRAIN PIPE (CPPPDW)	LIN. FT.	\$ 450.00	153.0	\$68,850.00	192.0	\$86,400.00	-39.00	-\$17,550.00
701-03-01102	48" STORM DRAIN PIPE (CPPPDW)	LIN. FT.	\$ 550.00	48.0	\$26,400.00	48.0	\$26,400.00		\$0.00
701-12-01060	24" BCCSP (EXTENSION)	LIN. FT.	\$ 350.00	13.0	\$4,550.00	13.0	\$4,550.00		\$0.00
702-03-00200	DRAIN MANHOLE	EACH	\$ 7,500.00	1.0	\$7,500.00	1.0	\$7,500.00		\$0.00
702-03-00100	24"x24" DRAIN INLET	EACH	\$ 5,000.00	6.0	\$30,000.00	6.0	\$30,000.00		\$0.00
702-04-00100	ADJUSTING MANHOLES	EACH	\$ 500.00	6.0	\$3,000.00	6.0	\$3,000.00		\$0.00
702-04-00200	ADJUSTING DRAIN INLETS	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00		\$0.00
711-01-00300	RIP RAP (30 LB, 14" THICK)	SQ. YD.	\$ 100.00	354.3	\$35,433.00	321.0	\$32,100.00	33.33	\$3,333.00
713-01-00100	TEMPORARY SIGNS AND BARRICADES	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
727-01-00100	MOBILIZATION /DEMOLITION	LUMP SUM	\$ 275,000.00	1.0	\$275,000.00	1.0	\$275,000.00		\$0.00
731-02-00100	REFLECTORIZED RAISED PAVEMENT MARKERS	EACH	\$ 25.00	7.0	\$175.00	7.0	\$175.00		\$0.00
739-03-00100	HYDRO-SEEDING	ACRE	\$ 3,500.00	2.2	\$7,553.00	2.2	\$7,553.00		\$0.00
740-01-00100	CONSTRUCTION LAYOUT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
741-11-00100	ADJUST WATER VALVE	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00		\$0.00
741-23-01100	INSERTION VALVE (8")	EACH	\$ 15,000.00	1.0	\$15,000.00	1.0	\$15,000.00		\$0.00
75-741-10009	8" WATER LINE OFFSET	EACH	\$ 10,000.00	3.0	\$30,000.00	1.0	\$10,000.00	2.00	\$20,000.00
NS-203-00006	EXPLORATORY EXCAVATION	CU. YD.	\$ 300.00	74.4	\$22,308.00	40.0	\$12,000.00	34.36	\$10,308.00
S-001	FIBER REINFORCED POLYMER (FRP) SHEET PILE	SQ. FT.	\$ 35.00	27,702.0	\$969,570.00	27,702.0	\$969,570.00		\$0.00
S-002	PRE-CONSTRUCTION VIDEO	LUMP SUM	\$ 25,000.00	1.0	\$25,000.00	1.0	\$25,000.00		\$0.00
S-003	STEEL SHEET PILE PENETRATION	LUMP SUM	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00		\$0.00
S-004	DRAINAGE STABILIZATION WALERS	EACH	\$ 1,000.00	12.0	\$12,000.00	10.0	\$10,000.00	2.00	\$2,000.00
S-005	FRP COMPOSITE WALER	LIN. FT.	\$ 125.00	1,458.0	\$182,250.00	1,458.0	\$182,250.00		\$0.00
S-006	EXCAVATION AND REPLACEMENT OF UNSUITABLE MATERIAL	CU. YD.	\$ 10.00	1,523.0	\$15,230.00	1,523.0	\$15,230.00		\$0.00
S-007	REBUILD SANITARY SEWER CONFLICT BOX	EACH	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00		\$0.00
S-008	RELOCATION OF INFRASTRUCTURE	LUMP	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
S-009	WATERLINE CROSSING (8" DUCTILE IRON)	LUMP	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
S-010	PAVEMENT PATCHING	SQ. YD.	\$ 75.00	2,307.0	\$173,025.00	2,307.0	\$173,025.00		\$0.00
S-011	HEADWALL WITH WINGWALLS	EACH	\$ 30,000.00	0.0	\$0.00	1.0	\$30,000.00	-1.00	-\$30,000.00
S-001-SM	FIBER REINFORCED POLYMER (FRP) SHEET PILE - JET FILTER (STORED	SQ. FT.	\$ 1.23	27,702.0	\$34,073.46	27,702.0	\$34,073.46		\$0.00
25-001-SM	FIBER REINFORCED POLYMER (FRP) SHEET PILE - SHEET PILE (STORED	SQ. FT.	\$ 18.75	27,702.0	\$519,412.50	27,702.0	\$519,412.50		\$0.00
WCD3-001	REMOVE AND REPLACE EXISTING CONCRETE DRIVES	SQ.YD	\$ 116.24	54.0	\$6,276.96	0.0	\$0.00	54.00	\$6,276.96
WCD6-001	CONFLICT BOX	EACH	\$ 10,724.53	1.0	\$10,724.53	0.0	\$0.00	1.00	\$10,724.53
COR#7-001	ADJUST DRAIN INLETS (OVER 6")	EACH	\$ 3,667.20	1.0	\$3,667.20	0.0	\$0.00	1.00	\$3,667.20
					Stored Material	\$553,485.96		\$553,485.96	
Additional contract days requested: Seven (7)			Amount of over run and under run	\$64,659.69	TOTAL	\$2,945,202.69	TOTAL	\$2,880,543.00	Deducted Additional -\$47,550.00 \$112,209.69

SECTION 00805

WORK CHANGE DIRECTIVE

No. One (1)

DATE OF ISSUANCE 12/18/2023 EFFECTIVE DATE 12/18/2023

Owner: St. Charles Parish

Contractor: Command Construction Industries, LLC.

Contract: _____

Project: Barber Road Bank Stallization

Owner's Contract No.: P210702 Engineer's Contract No.: 365-021-001

ENGINEER: Richard C. Lambert Consultants, LLC

Contractor is directed to proceed promptly with the following change(s):

Description: Enter description of changes for Contractor.

In reference to RFI 05, at Sta. 118+08, Command has been authorized to perform a SFM offset on the known SFM conflict and a second offset on the second SFM beneath the roadway, if confirmed to be in conflict. Please confirm second offset with SCP and RCLC as soon as exposed. SFM offsets to be paid under item TS-741-10009 - 8" WATER LINE OFFSET item for 6", 8", or 12" SFM offsets.

Attachments: (List documents supporting change) List of supporting documents.

Pages 2-5 - RFI 05

Purpose for Work Change Directive:

Directive to proceed promptly with the Work described herein, prior to agreeing to changes on Contract Price and Contract Time, is issued due to: *(check one)*

- Non-agreement on pricing of proposed change.
- Necessity to proceed for schedule or other project reasons.

Estimated Change in Contract Price and Contract Times (non-binding, preliminary):

Contract Price: \$ 20,000 (increase) [increase] [decrease]

Contract Time One (1) days [increase] [decrease]

Basis of estimated change in Contract Price:

- Lump Sum
- Unit Price
- Cost of the Work
- Other

Recommended:	Limited Authorization By*:	Received:
By: <u>[Signature]</u>	By: <u>[Signature]</u>	By: <u>[Signature]</u>
Engineer (Authorized Signature)	Owner's Representative*	Contractor (Authorized Signature)
Title: <u>Project Engineer</u>	Title: <u>Director Public Works</u>	Title: <u>MEMBER</u>
Date: <u>12/19/23</u>	Date: <u>12/19/2023</u>	Date: <u>12-19-23</u>

*Owner's Representative is not authorized to finalize a Change Order nor does the Work Change Directive substitute the Change Order process as more fully set out in the General Conditions of the Construction Contract.

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____

WORK CHANGE DIRECTIVE

WORK CHANGE DIRECTIVE

PROJ. NO. P210702
NAME BARBER ROAD BANK STABILIZATION

WCD No. One(1)

Date Initiated: December 18, 2023

Engineer's description, explanation, & estimated cost of proposed revision.

Page 1 of 1

In order to facilitate plans for local development, the Parish has opted to make changes / additions to the Project requirements that result in quantity changes to the following existing items:

Adjustment to Contract Total:
TS-743-10009 - 8" WATER LINE OFFSET - 2 Ea

There is requested increase in contract time of One (1) day due to the cost of the above changes.

The preceding will necessitate the following changes in quantities (if space is not sufficient, use extra forms)

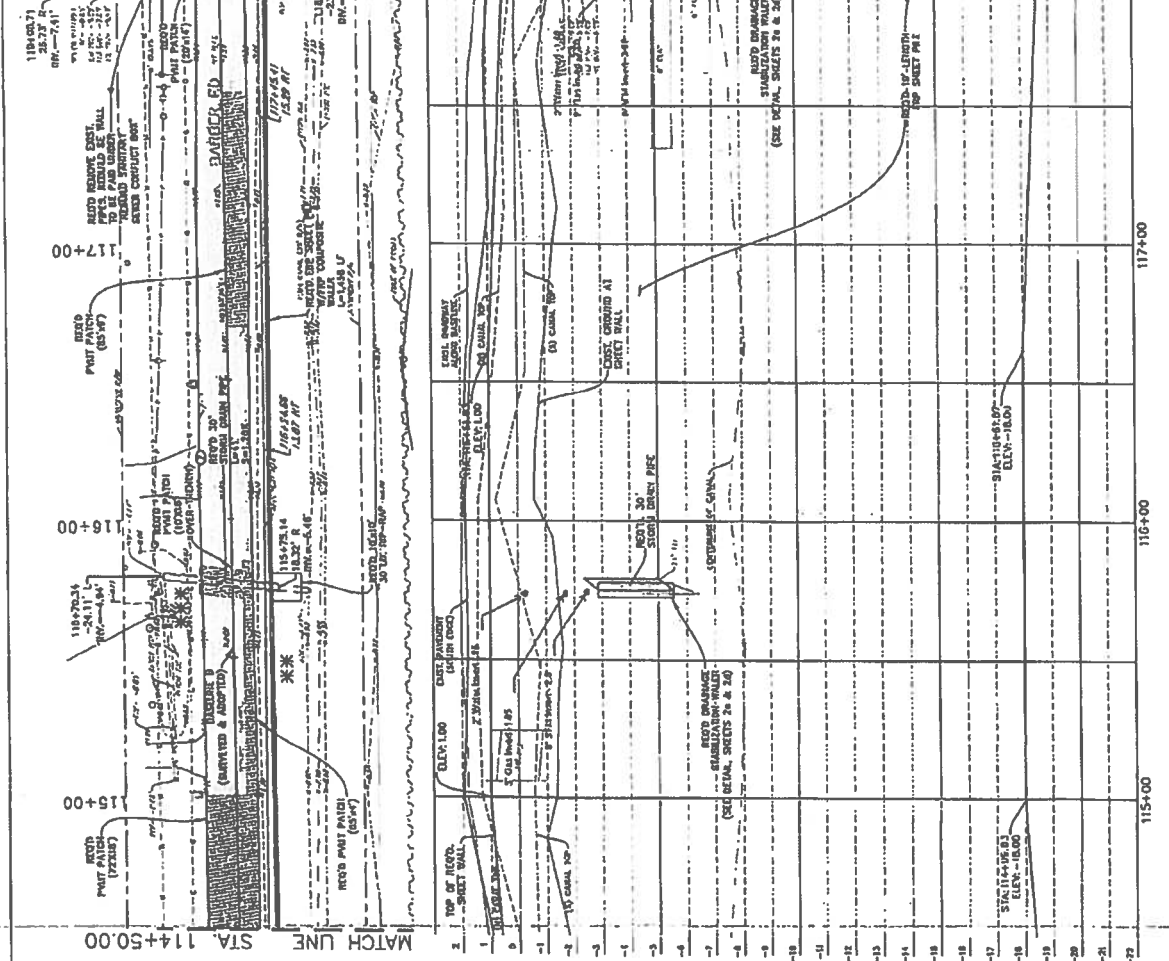
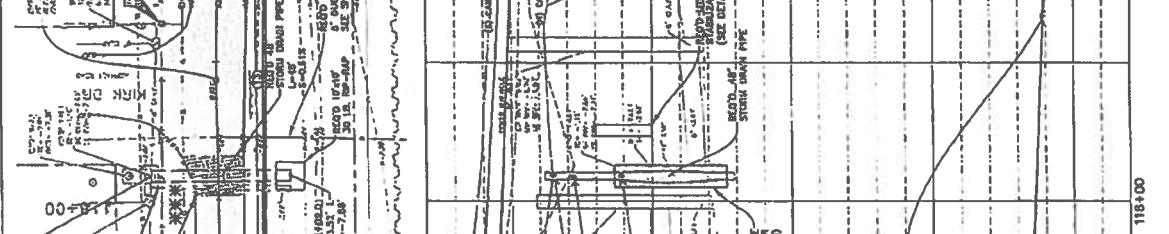
ITEM NO.	ITEM	UNIT	UNIT PRICE	REVISED		ORIGINAL		ADDITIONAL	
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	CHANGE ORDER QUANTITY	AMOUNT
201-01-00200	CLEARING AND GRUBBING	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
202-01-00200	REMOVAL OF STRUCTURES AND OBSTRUCTIONS	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
203-00-00200	EXCAVATION AND EMBANKMENT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
205-02-00200	TEMPORARY HAY OR STRAW BALES	EACH	\$ 10.00	75.0	\$750.00	75.0	\$750.00		\$0.00
206-06-00200	TEMPORARY SILT FENCING	LN. FT.	\$ 5.00	3,237.0	\$16,185.00	3,237.0	\$16,185.00		\$0.00
207-01-00200	ASPHALT CONCRETE	TOW	\$ 280.00	1,699.0	\$475,720.00	1,699.0	\$475,720.00		\$0.00
208-01-00200	MILLING ASPHALT PAVEMENT (1" THICK)	SQ. YD.	\$ 5.00	8,617.0	\$43,085.00	8,617.0	\$43,085.00		\$0.00
701-03-01200	18" STORM DRAIN PIPE (CPPFDW)	LN. FT.	\$ 250.00	64.0	\$16,000.00	64.0	\$16,000.00		\$0.00
701-03-01200	24" STORM DRAIN PIPE (CPPFDW)	LN. FT.	\$ 350.00	143.0	\$50,050.00	143.0	\$50,050.00		\$0.00
701-03-01200	30" STORM DRAIN PIPE (CPPFDW)	LN. FT.	\$ 450.00	192.0	\$86,400.00	192.0	\$86,400.00		\$0.00
701-03-01200	48" STORM DRAIN PIPE (CPPFDW)	LN. FT.	\$ 550.00	48.0	\$26,400.00	48.0	\$26,400.00		\$0.00
701-13-01200	24" RCCSP (EXTENSION)	LN. FT.	\$ 350.00	13.0	\$4,550.00	13.0	\$4,550.00		\$0.00
702-02-00200	DRAIN MANHOLE	EACH	\$ 7,500.00	1.0	\$7,500.00	1.0	\$7,500.00		\$0.00
702-03-00100	24"X24" DRAIN INLET	EACH	\$ 5,000.00	6.0	\$30,000.00	6.0	\$30,000.00		\$0.00
702-06-00200	ADJUSTING MANHOLES	EACH	\$ 500.00	6.0	\$3,000.00	6.0	\$3,000.00		\$0.00
702-06-00200	ADJUSTING DRAIN INLETS	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00		\$0.00
713-01-00300	RIP RAP (30 LB, 14" THICK)	SQ. YD.	\$ 100.00	321.0	\$32,100.00	321.0	\$32,100.00		\$0.00
713-01-00300	TEMPORARY SIGNS AND BARRICADES	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
717-01-00200	MOBILIZATION / DEMOBILIZATION	LUMP SUM	\$ 275,000.00	1.0	\$275,000.00	1.0	\$275,000.00		\$0.00
721-02-00100	REFLECTORIZED RAISED PAVEMENT MARKERS	EACH	\$ 25.00	7.0	\$175.00	7.0	\$175.00		\$0.00
729-01-00300	HYDRO-SEEDING	ACRE	\$ 3,500.00	2.2	\$7,553.00	2.2	\$7,553.00		\$0.00
768-01-00100	CONSTRUCTION LAYOUT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
743-12-00200	ADJUST WATER VALVE	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00		\$0.00
741-23-01100	INSERTION VALVE (8")	EACH	\$ 15,000.00	1.0	\$15,000.00	1.0	\$15,000.00		\$0.00
13-743-10009	8" WATER LINE OFFSET	EACH	\$ 10,000.00	3.0	\$30,000.00	1.0	\$10,000.00	2.00	\$20,000.00
85-100-00006	EXPLORATORY EXCAVATION	CU. YD.	\$ 300.00	40.0	\$12,000.00	40.0	\$12,000.00		\$0.00
9-001	FIBER REINFORCED POLYMER (FRP) SHEET PILE	SQ. FT.	\$ 35.00	27,702.0	\$969,570.00	27,702.0	\$969,570.00		\$0.00
9-002	PRE-CONSTRUCTION VIDEO	LUMP SUM	\$ 25,000.00	1.0	\$25,000.00	1.0	\$25,000.00		\$0.00
9-003	STEEL SHEET PILE PENETRATION	LUMP SUM	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00		\$0.00
9-004	DRAINAGE STABILIZATION WALES	EACH	\$ 1,000.00	10.0	\$10,000.00	10.0	\$10,000.00		\$0.00
9-005	FRP COMPOSITE WALER	LN. FT.	\$ 125.00	1,458.0	\$182,250.00	1,458.0	\$182,250.00		\$0.00
9-006	EXCAVATION AND REPLACEMENT OF UNSUITABLE MATERIAL	CU. YD.	\$ 10.00	1,523.0	\$15,230.00	1,523.0	\$15,230.00		\$0.00
9-007	REBUILD SANITARY SEWER CONDUIT BOX	EACH	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00		\$0.00
9-008	RELOCATION OF INFRASTRUCTURE	LUMP	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
9-009	WATERLINE CROSSING (8" DUCTILE IRON)	LUMP	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00
9-010	PAVEMENT PATCHING	SQ. YD.	\$ 75.00	2,307.0	\$173,025.00	2,307.0	\$173,025.00		\$0.00
9-011	HEADWALL WITH WINGWALLS	EACH	\$ 30,000.00	1.0	\$30,000.00	1.0	\$30,000.00		\$0.00
9-021-004	FIBER REINFORCED POLYMER (FRP) SHEET PILE --JET FILTER (STORED)	SQ. FT.	\$ 1.23	27,702.0	\$34,073.46	27,702.0	\$34,073.46		\$0.00
					Stored Material		\$34,073.46		
Additional contract days requested: <u>One (1)</u>		Amount of over run and under run		\$20,000.00	TOTAL	\$2,900,543.00	TOTAL	\$2,880,543.00	Check \$20,000.00

**STATE OF LOUISIANA
DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT
REQUEST FOR INFORMATION**

State Project No.: P210702	RFI Number: 5
Project Name: Barber Road Bank Stabilization	Date Received: 10/11/2023
Project Manager: Arthur Ledet	Date Required: 10/12/2023
Project Engineer: Frank Zemmer	Forwarded To:
Contractor: Command Construction, LLC	Date Responded: 10/11/2023
Specification No.:	Page No.:
check one: <input checked="" type="checkbox"/> RFI	<input type="checkbox"/> Design Modification
check one: <input type="checkbox"/> Standard Specification	<input type="checkbox"/> Supplemental Specification
	<input type="checkbox"/> Proposed VE
	<input type="checkbox"/> Special Provision
Plan Sheet No.: .7 thru 9	Detail:
REQUEST: While performing exploratory excavation, Command found numerous conflicts with our new drain line, including the gas and SFM's. Please see the attached redline drawings showing the conflicts from our findings highlighted in yellow.	
PROPOSED SOLUTION (If applicable): Engineer to advise Command on a proposed solution.	
By: Bradley Cieslinski	Signature: <i>Bradley Ciestinski</i>
	Date: 10/11/2023
RESPONSE: Please provide horizontal locations on plan view for SFM. Station 113+03.37 drainage has been relocated through RFI#2 and should no longer be in conflict. It appears from the redlines on the drawings that the gas lines are above the drainage and not in conflict. Once RCLC has the horizontal SFM information, we can respond in detail to the remaining conflicts mentioned in this RFI.	
By: Angela Eymard, PE	Signature: <i>Angela Eymard</i>
	Date: 10/11/2023
After reviewing the response, does the contractor anticipate:	
That a change order will be required? <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
That there will be an increase in the cost of the project? <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> NO

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND ADHERING TO ALL REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND ADHERING TO ALL REGULATIONS AND ORDINANCES.

LEGEND OF SYMBOLS:
 --- PROPOSED DRIVEWAY
 --- EXISTING DRIVEWAY
 --- EXISTING DRIVEWAY PAVEMENT
 --- EXISTING DRIVEWAY SIDEWALK
 --- EXISTING DRIVEWAY CURB
 --- EXISTING DRIVEWAY GUTTER
 --- EXISTING DRIVEWAY GROUND LINE
 --- EXISTING DRIVEWAY ELEVATION
 --- EXISTING DRIVEWAY AREA



SECTION 00805

WORK CHANGE DIRECTIVE

No. Two (2)

DATE OF ISSUANCE 12/14/2023 EFFECTIVE DATE 12/14/2023

Owner: St. Charles Parish

Contractor: Command Construction Industries, LLC.

Contract: _____

Project: Barber Road Bank Stabilization

Owner's Contract No.: P210702 Engineer's Contract No.: 365-021-001

ENGINEER: Richard C. Lambert Consultants, LLC

Contractor is directed to proceed promptly with the following change(s):

Description: Enter description of changes for Contractor.

In reference to RFI 12, install new Drain Inlet and replace existing 36" CMP with 30" Storm Drain Pipe CPPPDW. Utilize D.I. #4 and adjust top of box to facilitate proper drainage to casting and grate. D.I. adjustment to be paid under Item 702-04-00200 ADJUSTING DRAIN INLETS. 6' x 18' PAVEMENT PATCHING, 10' x 10' RIP RAP and DRAINAGE STABILIZATION WALER to be paid under existing contract items.

Attachments: (List documents supporting change) List of supporting documents.

Pages 2&3 - RFI 12

Page 4 - 12/12/23 Inspector Photos from exploratory excavations

Page 5 - Mark-up plan sheet 8 (Sta. 116+50)

Purpose for Work Change Directive:

Directive to proceed promptly with the Work described herein, prior to agreeing to changes on Contract Price and Contract Time, is issued due to: (check one)

- Non-agreement on pricing of proposed change.
- Necessity to proceed for schedule or other project reasons.

Estimated Change in Contract Price and Contract Times (non-binding, preliminary):

Contract Price: \$ 21,461.00 (Increase) [increase] [decrease]

Contract Time 1 days [increase] [decrease]

Basis of estimated change in Contract Price:

- Lump Sum
- Unit Price
- Cost of the Work
- Other

Recommended:	Limited Authorization By*:	Received:
By: <u>[Signature]</u> Engineer (Authorized Signature)	By: <u>[Signature]</u> Owner's Representative*	By: <u>[Signature]</u> Contractor (Authorized Signature)
Title: <u>Project Engineer</u>	Title: <u>Director, Public Works</u>	Title: <u>MEMBER</u>
Date: <u>12/19/23</u>	Date: <u>12/19/2023</u>	Date: <u>12-19-23</u>

*Owner's Representative is not authorized to finalize a Change Order nor does the Work Change Directive substitute the Change Order process as more fully set out in the General Conditions of the Construction Contract.

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____

SECTION 00805
WORK CHANGE DIRECTIVE

WORK CHANGE DIRECTIVE

PROJ. NO. P210702
NAME BARBER ROAD BANK STABILIZATION

WCD No. Two(2)

Date Initiated: December 18, 2023

Engineer's description, explanation, & estimated cost of proposed revisions:

Page 1 of 1

In order to facilitate plans for local development, the Parish has opted to make changes / additions to the Project requirements that result in quantity changes to the following existing items:

Adjustment to Contract Total:
701-03-01062 - 30" STORM DRAIN PIPE (CPPPDW) - 43 LF
711-01-00300 - RIP RAP (30 LB, 14" THICK) - 11.11 SY (10' x 10')
5-004 - DRAINAGE STABILIZATION WALLS - 1 Each

Existing Quantity in Contract:
702-03-00100 - 24"X24" DRAIN INLET - 1 Ea (D.L. #4)
702-04-00200 - ADJUSTING DRAIN INLETS - 1 Ea
5-010 - PAVEMENT PATCHING - 12.0 SY (6' x 18')

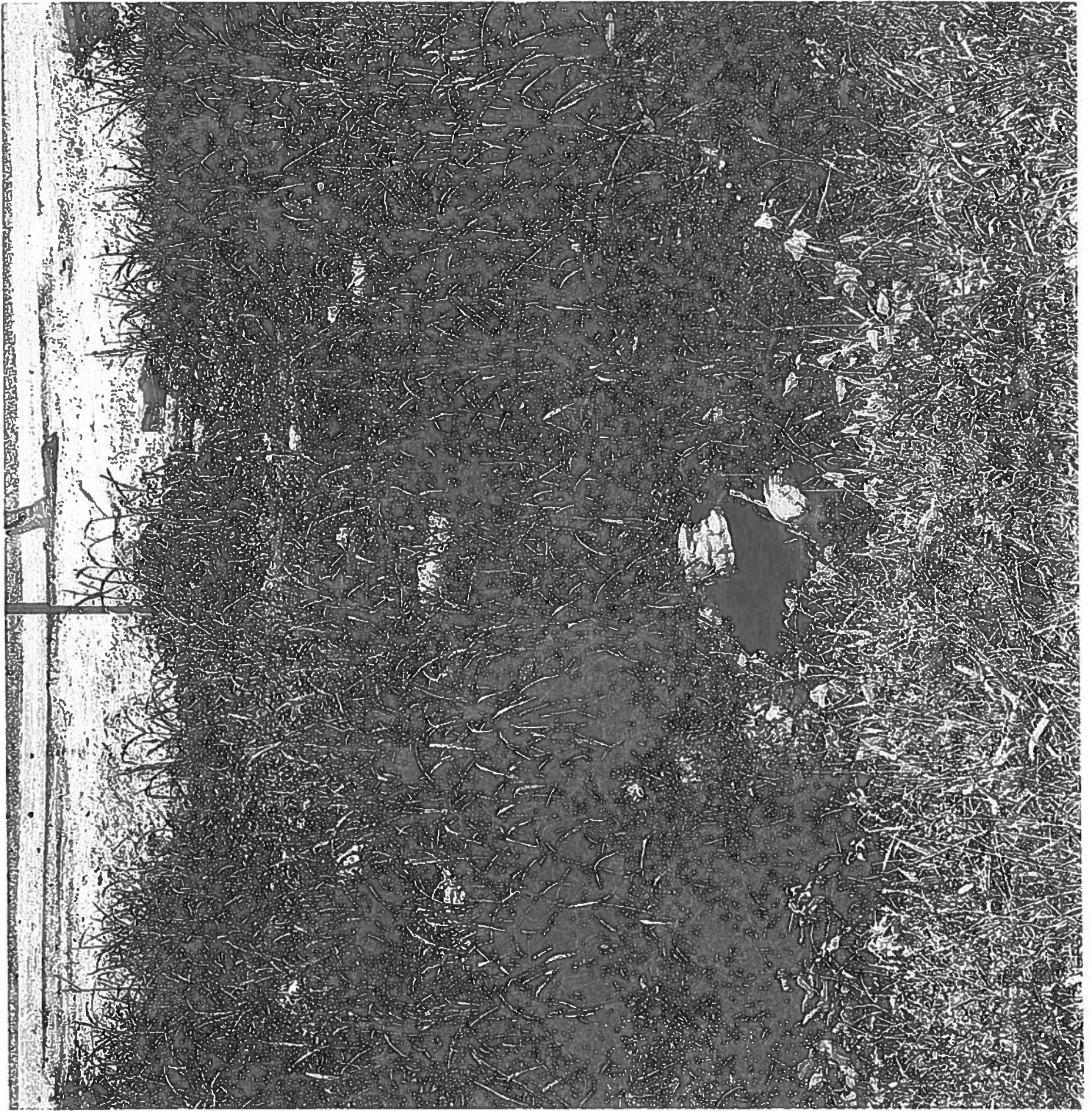
There is requested increase in contract time of One (1) day due to the cost of the above changes.

The following will necessitate the following changes in quantities (if space is not sufficient, use extra forms):

ITEM NO.	ITEM	UNIT	UNIT PRICE	REVISED (WCD #1 & #2)		ORIGINAL + WCD#1		ADDITIONAL		EXISTING QUANTITY	AMOUNT	
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	CHANGE ORDER QUANTITY	AMOUNT			
300-01-00500	CLEARING AND GRUBBING	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
300-01-00500	REMOVAL OF STRUCTURES AND OBSTRUCTIONS	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
300-01-00500	EXCAVATION AND EMBANKMENT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
300-02-00500	TEMPORARY RAY OR STRAW BALS	EACH	\$ 75.00	75.0	\$7,500.00	75.0	\$7,500.00			\$0.00	\$0.00	
300-04-00500	TEMPORARY SILT FENCING	LN. FT.	\$ 5.00	3,237.0	\$16,185.00	3,237.0	\$16,185.00			\$0.00	\$0.00	
300-01-00500	ASPHALT CONCRETE	TDN	\$ 280.00	1,699.0	\$473,720.00	1,699.0	\$473,720.00			\$0.00	\$0.00	
300-03-00500	MAILING ASPHALT PAVEMENT (1" THICK)	SQ. YD.	\$ 5.00	8,617.0	\$43,085.00	8,617.0	\$43,085.00			\$0.00	\$0.00	
700-03-01062	18" STORM DRAIN PIPE (CPPPDW)	LN. FT.	\$ 250.00	64.0	\$16,000.00	64.0	\$16,000.00			\$0.00	\$0.00	
700-03-01062	24" STORM DRAIN PIPE (CPPPDW)	LN. FT.	\$ 350.00	143.0	\$50,050.00	143.0	\$50,050.00			\$0.00	\$0.00	
700-03-01062	18" STORM DRAIN PIPE (CPPPDW)	LN. FT.	\$ 450.00	239.0	\$107,750.00	192.0	\$86,400.00	43	\$19,350.00		\$0.00	
700-03-01062	48" STORM DRAIN PIPE (CPPPDW)	LN. FT.	\$ 550.00	48.0	\$26,400.00	48.0	\$26,400.00			\$0.00	\$0.00	
700-03-01062	24" RCSP (EXTENSION)	LN. FT.	\$ 350.00	13.0	\$4,550.00	13.0	\$4,550.00			\$0.00	\$0.00	
700-03-01062	DRAIN MANHOLE	EACH	\$ 7,500.00	1.0	\$7,500.00	1.0	\$7,500.00			\$0.00	\$0.00	
700-03-01062	24"X24" DRAIN INLET	EACH	\$ 5,000.00	6.0	\$30,000.00	6.0	\$30,000.00			\$0.00	\$5,000.00	
700-03-01062	ADJUSTING MANHOLES	EACH	\$ 500.00	6.0	\$3,000.00	6.0	\$3,000.00			\$0.00	\$0.00	
700-03-01062	ADJUSTING DRAIN INLETS	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00			\$0.00	\$500.00	
710-01-00300	RIP RAP (30 LB, 14" THICK)	SQ. YD.	\$ 100.00	332.1	\$33,210.00	311.0	\$31,100.00	11.11	\$1,111.00		\$0.00	
710-01-00300	TEMPORARY SIGNS AND BARRICADES	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
710-01-00300	MOBILIZATION / DEMOBILIZATION	LUMP SUM	\$ 275,000.00	1.0	\$275,000.00	1.0	\$275,000.00			\$0.00	\$0.00	
710-01-00300	SELF COTORIZED RAISED PAVEMENT MARKERS	EACH	\$ 25.00	7.0	\$175.00	7.0	\$175.00			\$0.00	\$0.00	
710-01-00300	HYDRO-SEEDING	ACRE	\$ 3,500.00	2.2	\$7,530.00	2.2	\$7,530.00			\$0.00	\$0.00	
710-01-00300	CONSTRUCTION LAYOUT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
710-11-00800	ADJUST WATER VALVE	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00			\$0.00	\$0.00	
710-11-00800	INSULATION VALVE (2")	EACH	\$ 15,000.00	1.0	\$15,000.00	1.0	\$15,000.00			\$0.00	\$0.00	
710-11-00800	6" WATER LINE OFFSET	EACH	\$ 10,000.00	3.0	\$30,000.00	3.0	\$30,000.00			\$0.00	\$0.00	
710-03-00800	EXPLORATORY EXCAVATION	CU. YD.	\$ 300.00	40.0	\$12,000.00	40.0	\$12,000.00			\$0.00	\$0.00	
5-005	FIBER REINFORCED POLYMER (FRP) SHEET PILE	LN. FT.	\$ 35.00	27,702.0	\$969,570.00	27,702.0	\$969,570.00			\$0.00	\$0.00	
5-005	PRE-CONSTRUCTION VIDEO	LUMP SUM	\$ 25,000.00	1.0	\$25,000.00	1.0	\$25,000.00			\$0.00	\$0.00	
5-005	STEEL SHEET PILE PENETRATION	LUMP SUM	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00			\$0.00	\$0.00	
5-005	DRAINAGE STABILIZATION WALLS	EACH	\$ 1,000.00	11.0	\$11,000.00	10.0	\$10,000.00	1	\$1,000.00		\$0.00	
5-005	FRP COMPOSITE WALL	LN. FT.	\$ 125.00	1,458.0	\$182,250.00	1,458.0	\$182,250.00			\$0.00	\$0.00	
5-005	EXCAVATION AND REPLACEMENT OF UNSUITABLE MATERIAL	CU. YD.	\$ 10.00	1,523.0	\$15,230.00	1,523.0	\$15,230.00			\$0.00	\$0.00	
5-005	REBUILD SANITARY SEWER CONFLICT BOX	EACH	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00			\$0.00	\$0.00	
5-005	RELOCATION OF INFRASTRUCTURE	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
5-005	WATERLINE CROSSING (2" DUCTILE IRON)	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
5-005	PAVEMENT PATCHING	SQ. YD.	\$ 75.00	2,307.0	\$173,025.00	2,307.0	\$173,025.00			\$0.00	\$900.00	
5-010	HEADWALL WITH WINDWALLS	EACH	\$ 30,000.00	1.0	\$30,000.00	1.0	\$30,000.00			\$0.00	\$0.00	
5-010	FIBER REINFORCED POLYMER (FRP) SHEET PILE - JET FILTER (STORED)	LN. FT.	\$ 1.23	27,702.0	\$34,073.46	27,702.0	\$34,073.46			\$0.00	\$0.00	
				Stored Material								
Additional contract days requested: One (1)				Amount of over run and under run								
				\$21,461.00	TOTAL	\$2,922,004.00	TOTAL	\$2,900,543.00	Check	\$21,461.00	Total	\$6,400.00

STATE OF LOUISIANA
DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT
REQUEST FOR INFORMATION

State Project No.: P210702	RFI Number: 12
Project Name: Barber Road Bank Stabilization	Date Received: 12/4/2023
Project Manager: Arthur Ledet	Date Required: 12/5/2023
Project Engineer: Frank Zemmer	Forwarded To:
Contractor: Command Construction, LLC	Date Responded:
Specification No.:	Page No.:
check one: <input checked="" type="checkbox"/> RFI	<input type="checkbox"/> Design Modification
check one: <input type="checkbox"/> Standard Specification	<input type="checkbox"/> Supplemental Specification
	<input type="checkbox"/> Proposed VE
	<input type="checkbox"/> Special Provision
Plan Sheet No.: 9	Detail:
REQUEST:	
At approximately STA 116+50 we found the buried drain line as well as the box it tied into which is 11' from edge of road. The invert at the box is -7.81' with a TOC of -3.6'. At the outfall, the invert is -7.9'. The pipe is a 36" CMP and is 43' long.	
PROPOSED SOLUTION (If applicable):	
1. We do not have a pay item for 36" CMP. Command can submit a change order price to replace this with 36" CMP which has a 2-3 week lead time and would request days back on the contract.	
2. We can order 36" (CPPPDW) which has a 5-7 day lead time and would request days back on the contract. Only comes in 20' joints so would get paid for 60'.	
By: Bradley Cieslinski	Signature: <i>Bradley Cieslinski</i>
	Date: 12/4/2023
RESPONSE:	
By:	Signature:
	Date:
After reviewing the response, does the contractor anticipate:	
That a change order will be required?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
That there will be an increase in the cost of the project?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> NO



SECTION 00805

WORK CHANGE DIRECTIVE

No. Three (3)

DATE OF ISSUANCE 12/14/2023 EFFECTIVE DATE 12/14/2023

Owner: St. Charles Parish

Contractor: Command Construction Industries, LLC.

Contract: _____

Project: Barber Road Bank Stabilization

Owner's Contract No.: P210702 Engineer's Contract No.: 365-021-001

ENGINEER: Richard C. Lambert Consultants, LLC

Contractor is directed to proceed promptly with the following change(s):

Description: Enter description of changes for Contractor.
In reference to RFI 11, replace existing 15" CMP with 18" Storm Drain Pipe CPPPDW Adjust top of existing box to driveway elevation with closed top cover D.I adjustment to be paid under Item 702-04-00200 ADJUSTING DRAIN INLETS. 6' x 18' PAVEMENT PATCHING, 10' x 10' RIP RAP and DRAINAGE STABILIZATION WALER to be paid under existing contract items. Command to submit pricing for R/R concrete Driveway.

Attachments: (List documents supporting change) List of supporting documents

Pages 2 & 3 - RFI 11

Page 4 - 12/12/23 Inspector Photos from exploratory excavations

Page 5 - Mark-up plan sheet 9 (Sta. 121+00)

Purpose for Work Change Directive:

Directive to proceed promptly with the Work described herein, prior to agreeing to changes on Contract Price and Contract Time, is issued due to: (check one)

- Non-agreement on pricing of proposed change.
- Necessity to proceed for schedule or other project reasons.

Estimated Change in Contract Price and Contract Times (non-binding, preliminary):

Contract Price: \$ 17,137.98 (increase) [increase] [decrease]

Contract Time 1 days [increase] [decrease]

Basis of estimated change in Contract Price:

- Lump Sum
- Unit Price
- Cost of the Work
- Other

Recommended:	Limited Authorization By*:	Received:
By: <u>[Signature]</u>	By: <u>[Signature]</u>	By: <u>[Signature]</u>
Engineer (Authorized Signature)	Owner's Representative	Contractor (Authorized Signature)
Title: <u>Project Engineer</u>	Title: <u>Director, Public Utilities</u>	Title: <u>MEMBER</u>
Date: <u>12/19/23</u>	Date: <u>12/19/2023</u>	Date: <u>12-19-23</u>

*Owner's Representative is not authorized to finalize a Change Order nor does the Work Change Directive substitute the Change Order process as more fully set out in the General Conditions of the Construction Contract.

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____

**SECTION 00805
WORK CHANGE DIRECTIVE**

WORK CHANGE DIRECTIVE

PROJ NO P210702
NAME BARBER ROAD BANK STABILIZATION

WCD No Three (3)

Date Initiated: December 10, 2013

Project's description, explanation, & estimated cost of proposed changes

Page 1 of 1

In order to facilitate plans for local development, the Parish has opted to make changes / additions to the Project requirements that result in quantity changes to the following existing items:

- Adjustment to Contract Totals:
 701-03-01022 - 18" STORM DRAIN PIPE (CPPFDW) - 85 LF
 711-01-00300 - RIP RAP (30 LB, 14" THICK) - 11.15 SY (10' x 10')
 8-004 - DRAINAGE STABILIZATION WALLS - 1 Each
 C03-001 - REMOVE AND REPLACE EXISTING CONCRETE DRIVES - 54 SY
 C03-002 - DRAIN MANHOLE FRAME AND COVER 1 Ea

- Existing Quantity in Contract:
 702-04-00200 - ADJUSTING DRAIN INLETS - 1 Ea
 5-010 - PAVEMENT PATCHING - 12.0 SY (6' x 18')

There is requested increase in contract time of One (1) day due to the cost of the above changes.

The following table reflects the following changes in quantities (quantity is not sufficient, use plus format)

ITEM NO	ITEM	UNIT	UNIT PRICE	REVISED (WCD #1, #2 & #3)		ORIGINAL + WCD#1 & WCD #2		ADDITIONAL		EXISTING QUANTITY	AMOUNT		
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	(CHANGE ORDER QUANTITY)	AMOUNT				
571-01-00-20	118 APPROX. AREA UNDEVELOPED	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00				\$0.00		
572-01-07000	REMOVAL OF 118 LF TUMS AND OBSTRUCTIONS	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00				\$0.00		
580-04-00-300	120 STAKE/CHAINS AND MARKING PNT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00				\$0.00		
580-04-00-300	TEMPORARY DIRT OR STRAW BARRIERS	FACH	\$ 10.00	75.0	\$750.00	75.0	\$750.00				\$0.00		
580-04-00-300	TEMPORARY SIGNAGE	LIN FT	\$ 5.00	1,337.0	\$16,187.50	1,277.0	\$16,187.50				\$0.00		
580-04-00-300	BARRELS (CONCRETE)	TONS	\$ 280.00	1,699.0	\$475,720.00	1,699.0	\$475,720.00				\$0.00		
580-04-00-300	12" STORM DRAIN PIPE (CPPFDW) (1" THICK)	LN. FT.	\$ 5.00	8,617.0	\$43,085.00	8,617.0	\$43,085.00				\$0.00		
580-04-00-300	18" STORM DRAIN PIPE (CPPFDW)	LN. FT.	\$ 250.00	99.0	\$24,750.00	64.0	\$16,000.00	35.00	\$8,750.00		\$0.00		
580-04-00-300	24" STORM DRAIN PIPE (CPPFDW)	LN. FT.	\$ 350.00	143.0	\$50,050.00	143.0	\$50,050.00				\$0.00		
580-04-00-300	12" STORM DRAIN PIPE (CPPFDW)	LN. FT.	\$ 450.00	235.0	\$105,750.00	235.0	\$105,750.00				\$0.00		
580-04-00-300	18" STORM DRAIN PIPE (CPPFDW)	LN. FT.	\$ 550.00	48.0	\$26,400.00	48.0	\$26,400.00				\$0.00		
580-04-00-300	24" STORM DRAIN PIPE (CPPFDW)	LN. FT.	\$ 350.00	13.0	\$4,550.00	13.0	\$4,550.00				\$0.00		
580-04-00-300	24" BOCMP (EXTENSION)	LN. FT.	\$ 350.00	13.0	\$4,550.00	13.0	\$4,550.00				\$0.00		
580-04-00-300	DRAIN MANHOLE	EACH	\$ 7,500.00	1.0	\$7,500.00	1.0	\$7,500.00				\$0.00		
580-04-00-300	18" x 24" DRAIN INLET	EACH	\$ 5,000.00	6.0	\$30,000.00	6.0	\$30,000.00				\$0.00		
580-04-00-300	ADJUSTING MANHOLES	EACH	\$ 500.00	6.0	\$3,000.00	6.0	\$3,000.00				\$0.00		
580-04-00-300	ADJUSTING DRAIN INLETS	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00			1	\$500.00		
580-04-00-300	RIP RAP (30 LB, 14" THICK)	SY. YD.	\$ 100.00	343.2	\$34,320.00	332.1	\$33,211.00	11.11	\$1,111.00		\$0.00		
580-04-00-300	TEMPORARY SIGNS AND BARRICADES	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00				\$0.00		
580-04-00-300	REMOVAL OF EXISTING MANHOLES	LUMP SUM	\$ 275,000.00	1.0	\$275,000.00	1.0	\$275,000.00				\$0.00		
580-04-00-300	ADJUSTING DRAIN INLETS	EACH	\$ 25.00	7.0	\$175.00	7.0	\$175.00				\$0.00		
580-04-00-300	WORKING SURFACING	ACRS	\$ 3,500.00	2.2	\$7,550.00	2.2	\$7,550.00				\$0.00		
580-04-00-300	CONCRETE CURB & GUTTER	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00				\$0.00		
580-04-00-300	REINFORCED CONCRETE WALLS	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00				\$0.00		
580-04-00-300	EXTERIOR VALVE (6")	FACH	\$ 15,000.00	1.0	\$15,000.00	1.0	\$15,000.00				\$0.00		
580-04-00-300	6" WATER LINE OFFSET	EACH	\$ 10,000.00	3.0	\$30,000.00	3.0	\$30,000.00				\$0.00		
580-04-00-300	EXPLORATORY EXCAVATION	CU. YD.	\$ 300.00	40.0	\$12,000.00	40.0	\$12,000.00				\$0.00		
580-04-00-300	18" x 24" REINFORCED POLYMER (FR) SHEET PILE	SQ. FT.	\$ 35.00	27,702.0	\$965,370.00	27,702.0	\$965,370.00				\$0.00		
580-04-00-300	PILE CONNECTION YIELD	LUMP SUM	\$ 25,000.00	1.0	\$25,000.00	1.0	\$25,000.00				\$0.00		
580-04-00-300	STEEL SHEET PILE PENETRATION	LUMP SUM	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00				\$0.00		
580-04-00-300	GRADE ADJUSTMENT (GRAVEL)	EACH	\$ 1,000.00	11.0	\$11,000.00	11.0	\$11,000.00	1.00	\$1,000.00		\$0.00		
580-04-00-300	6" COMPOSITE WALLS	LN. FT.	\$ 125.00	1,458.0	\$182,250.00	1,458.0	\$182,250.00				\$0.00		
580-04-00-300	STEAMING AND DECONTAMINATION OF UNSATURATED MATERIAL	CU. YD.	\$ 10.00	1,523.0	\$15,230.00	1,523.0	\$15,230.00				\$0.00		
580-04-00-300	REINFORCED CONCRETE TANKER CONCRETE BOX	EACH	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00				\$0.00		
580-04-00-300	REMOVAL OF EXISTING TUMS	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00				\$0.00		
580-04-00-300	PAVEMENT PATCHING (6" x 18")	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00				\$0.00		
580-04-00-300	PAVEMENT PATCHING (6" x 18")	SQ. YD.	\$ 75.00	2,307.0	\$173,025.00	2,307.0	\$173,025.00			12	\$900.00		
580-04-00-300	HEADWALL WITH REINFORCING	EACH	\$ 30,000.00	1.0	\$30,000.00	1.0	\$30,000.00				\$0.00		
580-04-00-300	18" x 24" REINFORCED POLYMER (FR) SHEET PILE (REMOVED)	SQ. FT.	\$ 1.23	27,702.0	\$34,073.46	27,702.0	\$34,073.46				\$0.00		
580-04-00-300	18" x 24" REINFORCED POLYMER (FR) SHEET PILE (REMOVED)	SQ. FT.	\$ 18.75	0.0	\$0.00	0.0	\$0.00				\$0.00		
580-04-00-300	REINFORCED CONCRETE DRIVE	SQ. YD.	\$ 116.24	54.0	\$6,276.96	0.0	\$0.00	54.00	\$6,276.96		\$0.00		
580-04-00-300	DRAIN MANHOLE FRAME AND COVER	EACH	\$ 50.00	0.0	\$0.00	0.0	\$0.00				\$0.00		
				Stored Material	\$34,073.46		\$34,073.46						
Additional contract days requested: One (1)				Amount of over run and under run	\$17,197.96	TOTAL	\$2,939,141.96	TOTAL	\$2,922,004.00	Check	\$17,137.96	Total	\$1,400.00

STATE OF LOUISIANA
DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT
REQUEST FOR INFORMATION

State Project No.: P210702		RFI Number: 11	
Project Name: Barber Road Bank Stabilization		Date Received: 12/4/2023	
Project Manager: Arthur Ledet		Date Required: 12/5/2023	
Project Engineer: Frank Zemmer		Forwarded To:	
Contractor: Command Construction, LLC		Date Responded:	
Specification No.:		Page No.:	
check one: <input checked="" type="checkbox"/> RFI	<input type="checkbox"/> Design Modification	<input type="checkbox"/> Proposed VE	
check one: <input type="checkbox"/> Standard Specification	<input type="checkbox"/> Supplemental Specification	<input type="checkbox"/> Special Provision	
Plan Sheet No.: 9		Detail:	
REQUEST: At approximately STA 121+00 we found another outfall and do not see where it ties in at on the resident side. Looks like it may be under a driveway.			
PROPOSED SOLUTION (If applicable): Engineer to direct Command on how they want us to proceed.			
By: Bradley Cieslinski		Signature: <i>Bradley Cieslinski</i>	Date: 12/4/2023
RESPONSE:			
By:		Signature:	Date:
After reviewing the response, does the contractor anticipate:			
That a change order will be required?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
That there will be an increase in the cost of the project?		<input type="checkbox"/> Yes	<input type="checkbox"/> NO



RESIDENT INSPECTOR'S DAILY PHOTO LOG

Date: 12/12/2023

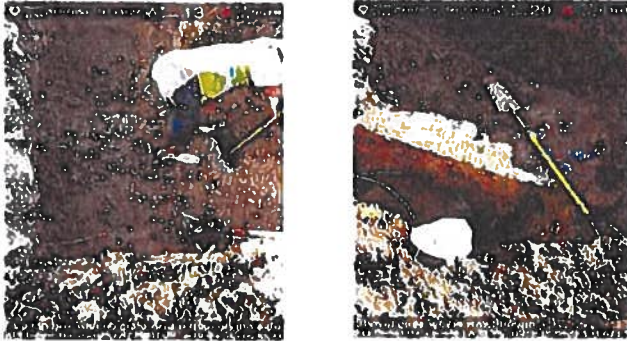
Project Number:

P210702

Project Name: Barber Road Bank Stabilization

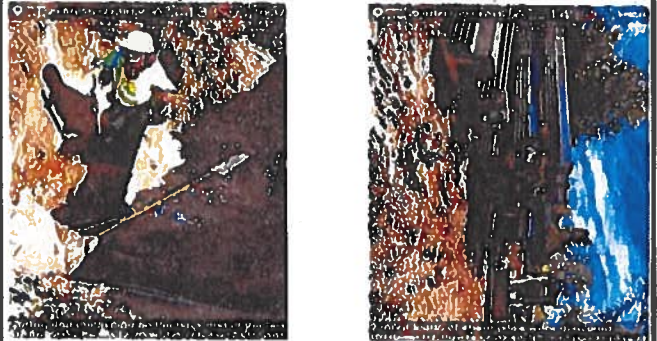
Project Engineer: Arthur Ledel, Richard C. Lambert Consultants, L.L.C.

PHOTO NO. 1 & 2



Exploratory Excavation @ Sta. 116+50. Existing pipe collar discovered

PHOTO NO. 3 & 4



Exploratory Excavation @ Sta. 116+50. FRP Sheet piles delivered.

PHOTO NO. 5



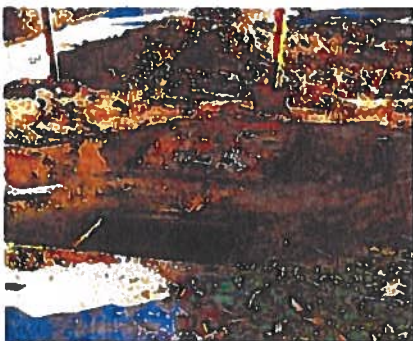
Exploratory Excavation @ Sta. 121+00

PHOTO NO. 6



Exploratory Excavation @ Sta. 121+00. 450 Barber Rd.

PHOTO NO. 7

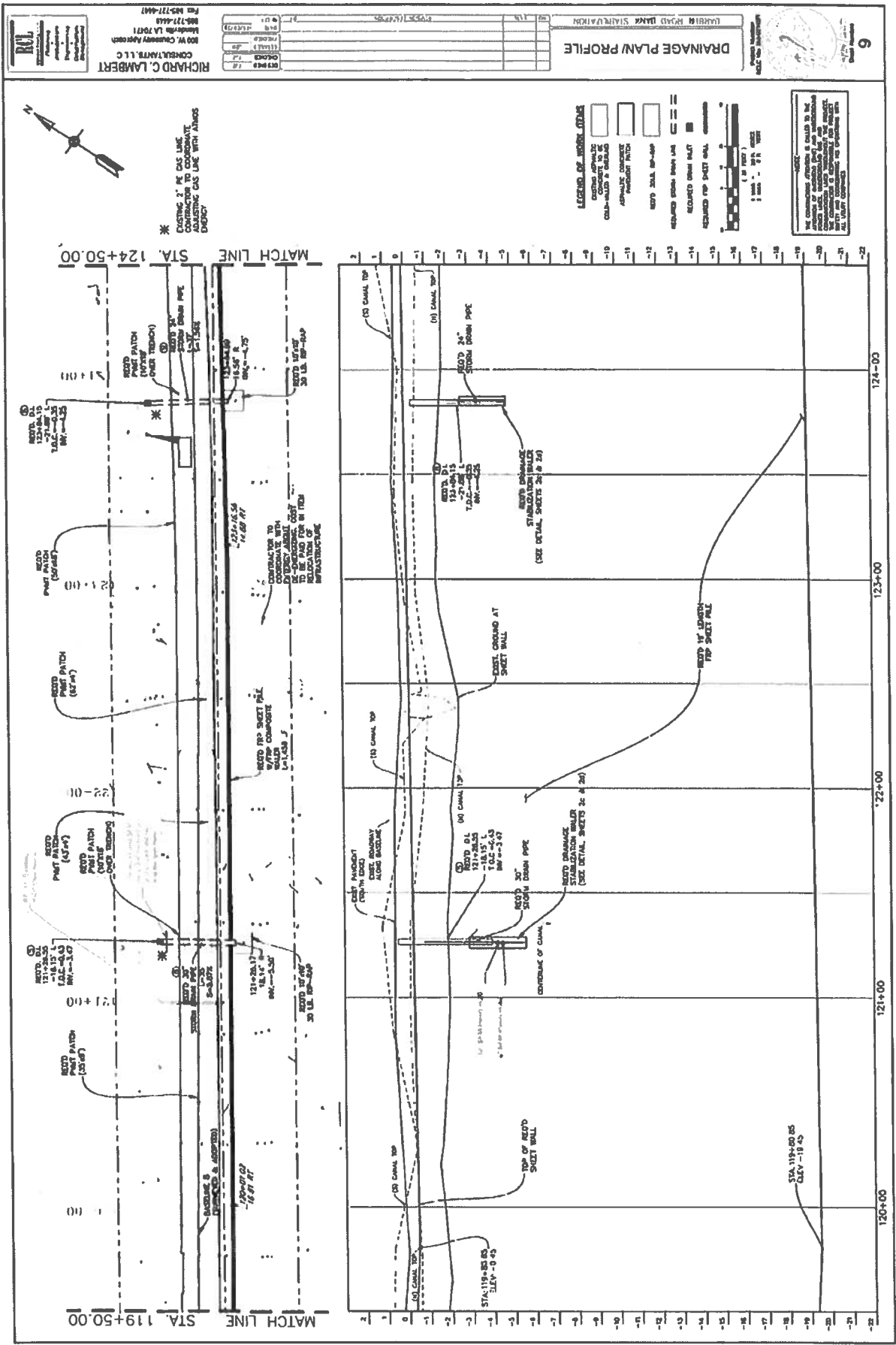


Exploratory Excavation @ Sta. 121+00. Existing D.I. discovered

PHOTO NO. 8



Exploratory Excavation @ Sta. 121+00. Existing DL looking from outfall at the Canal side.



RCL
 CONSULTANTS
 800 W. CHERRY AVENUE
 LAWRENCE, IA 51401
 PH: 712-744-1414
 FAX: 712-744-1447
RICHARD C. LAMBERT
 CONSULTANTS, LLC

NO.	DATE	DESCRIPTION
1	11/11/09	ISSUED FOR PERMIT
2	02/20/10	REVISED FOR PERMIT
3	03/24/10	REVISED FOR PERMIT
4	04/01/10	REVISED FOR PERMIT
5	04/01/10	REVISED FOR PERMIT
6	04/01/10	REVISED FOR PERMIT
7	04/01/10	REVISED FOR PERMIT
8	04/01/10	REVISED FOR PERMIT
9	04/01/10	REVISED FOR PERMIT
10	04/01/10	REVISED FOR PERMIT
11	04/01/10	REVISED FOR PERMIT
12	04/01/10	REVISED FOR PERMIT
13	04/01/10	REVISED FOR PERMIT
14	04/01/10	REVISED FOR PERMIT
15	04/01/10	REVISED FOR PERMIT
16	04/01/10	REVISED FOR PERMIT
17	04/01/10	REVISED FOR PERMIT
18	04/01/10	REVISED FOR PERMIT
19	04/01/10	REVISED FOR PERMIT
20	04/01/10	REVISED FOR PERMIT

DRAINAGE PLAN/PROFILE

RECO DRAINAGE STABILIZATION WALLER (SEE DETAIL SHEETS 26 & 29)
 RECO DRAIN PIPE (SEE DETAIL SHEETS 26 & 29)
 RECO SHEET WALL (SEE DETAIL SHEETS 26 & 29)
 RECO DRAINAGE STABILIZATION WALLER (SEE DETAIL SHEETS 26 & 29)
 RECO DRAIN PIPE (SEE DETAIL SHEETS 26 & 29)
 RECO SHEET WALL (SEE DETAIL SHEETS 26 & 29)

RECO DRAINAGE STABILIZATION WALLER (SEE DETAIL SHEETS 26 & 29)
 RECO DRAIN PIPE (SEE DETAIL SHEETS 26 & 29)
 RECO SHEET WALL (SEE DETAIL SHEETS 26 & 29)

RECO DRAINAGE STABILIZATION WALLER (SEE DETAIL SHEETS 26 & 29)
 RECO DRAIN PIPE (SEE DETAIL SHEETS 26 & 29)
 RECO SHEET WALL (SEE DETAIL SHEETS 26 & 29)

RECO DRAINAGE STABILIZATION WALLER (SEE DETAIL SHEETS 26 & 29)
 RECO DRAIN PIPE (SEE DETAIL SHEETS 26 & 29)
 RECO SHEET WALL (SEE DETAIL SHEETS 26 & 29)

CONTRACTOR TO COORDINATE
 EXISTING 3" AC GAS LINE
 WITH THE DRAINAGE
 SYSTEM.

CONTRACTOR TO
 PROVIDE ALL
 NECESSARY
 INFRASTRUCTURE
 FOR THE
 RECO SYSTEM.

CONTRACTOR TO
 PROVIDE ALL
 NECESSARY
 INFRASTRUCTURE
 FOR THE
 RECO SYSTEM.

CONTRACTOR TO
 PROVIDE ALL
 NECESSARY
 INFRASTRUCTURE
 FOR THE
 RECO SYSTEM.

CONTRACTOR TO
 PROVIDE ALL
 NECESSARY
 INFRASTRUCTURE
 FOR THE
 RECO SYSTEM.

SECTION 00805

WORK CHANGE DIRECTIVE

No. Four (4)

DATE OF ISSUANCE 12/14/2023 EFFECTIVE DATE 12/14/2023

Owner: St. Charles Parish
Contractor: Command Construction Industries, LLC.
Contract: _____
Project: Barber Road Bank Stallization
Owner's Contract No.: P210702 Engineer's Contract No.: 365-021-001
ENGINEER: Richard C. Lambert Consultants, LLC

Contractor is directed to proceed promptly with the following change(s):

Description: Enter description of changes for Contractor.

In reference to RFI 10, replace existing 24" CMP with 24" Storm Drain Pipe CPPPDW. Adjust top of D.I. #5 to facilitate proper drainage to grate. D.I. adjustment to be paid under Item 702-04-00200 ADJUSTING DRAIN INLETS.

Attachments: (List documents supporting change) List of supporting documents.

Pages 2-4 - RFI 10

Page 5 - Mark-up plan sheet 9 (Sta. 121+26)

Purpose for Work Change Directive:

Directive to proceed promptly with the Work described herein, prior to agreeing to changes on Contract Price and Contract Time, is issued due to: (check one)

- Non-agreement on pricing of proposed change.
- Necessity to proceed for schedule or other project reasons.

Estimated Change in Contract Price and Contract Times (non-binding, preliminary):

Contract Price: \$ (3,500) (Decrease) [increase] [decrease]

Contract Time Zero (0) days [increase] [decrease]

Basis of estimated change in Contract Price:

- Lump Sum
- Unit Price
- Cost of the Work
- Other

Recommended:	Limited Authorization By*:	Received:
By: <u>[Signature]</u>	By: <u>[Signature]</u>	By: <u>[Signature]</u>
Engineer (Authorized Signature)	Owner's Representative*	Contractor (Authorized Signature)
Title: <u>Project Engineer</u>	Title: <u>Director Public Works</u>	Title: <u>MEMBER</u>
Date: <u>12/19/23</u>	Date: <u>12/19/2023</u>	Date: <u>12-19-23</u>

*Owner's Representative is not authorized to finalize a Change Order nor does the Work Change Directive substitute the Change Order process as more fully set out in the General Conditions of the Construction Contract.

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____

**SECTION 00805
WORK CHANGE DIRECTIVE
WORK CHANGE DIRECTIVE**

PROJ. NO. P210702
NAME BARBER ROAD BANK STABILIZATION

WCD No. Four(4)

Date Initiated: December 18, 2023

Engineer's description, explanation, & estimated cost of proposed revision:

Page 1 of 1

In order to facilitate plans for local development, the Parish has opted to make changes / additions to the Project requirements that result in quantity changes to the following existing items:

Adjustment to Contract Totals:
 701-03-01042 - 24" STORM DRAIN PIPE (CPPPDW) - 35 LF
 701-03-01042 - 30" STORM DRAIN PIPE (CPPPDW) - (35LF) (Decrease)

Existing Quantity In Contract:
 702-04-00200 - ADJUSTING DRAIN INLETS - 1 Ea

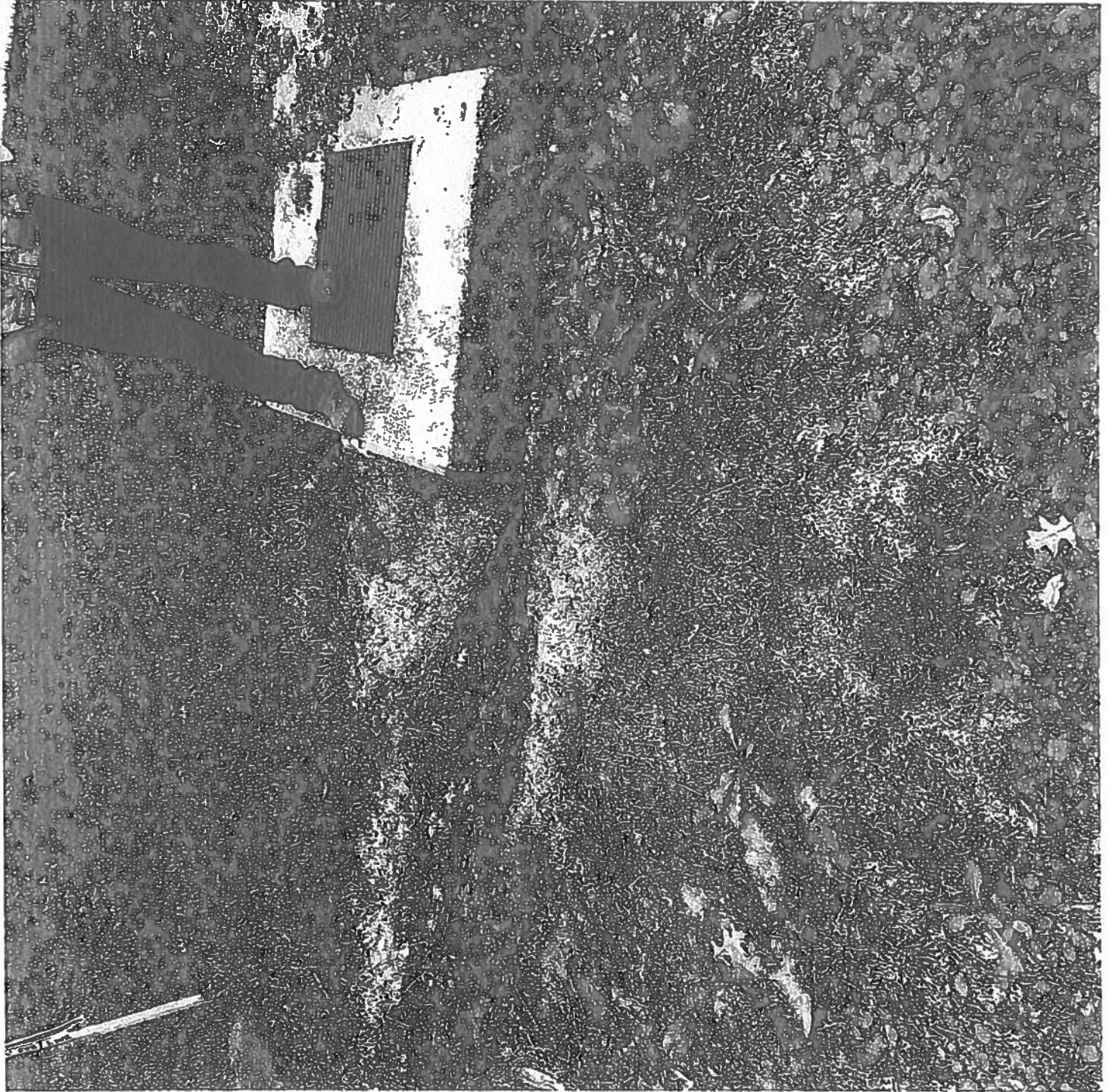
There is requested Increase in contract time of One (1) day due to the cost of the above changes.

The amending will necessitate the following changes in quantities (if space not sufficient, use extra forms).

ITEM NO.	ITEM	UNIT	UNIT PRICE	REVISED (WCD #1, #2, #3 & #4)		ORIGINAL +WCD #1, #2 & #3		ADDITIONAL		DISTING QUANTITY	AMOUNT
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	CHANGE ORDER QUANTITY	AMOUNT		
201-01-0000	CLEARING AND GRUBBING	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00
202-01-0000	REMOVAL OF STRUCTURES AND OBSTRUCTIONS	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00
203-01-0000	EXCAVATION AND EMBANKMENT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00
204-01-0000	TEMPORARY HAY OR STRAW BALES	EACH	\$ 10.00	75.0	\$750.00	75.0	\$750.00		\$0.00		\$0.00
204-04-0000	TEMPORARY SBT FENCING	LNK FT.	\$ 5.00	3,237.0	\$16,185.00	3,237.0	\$16,185.00		\$0.00		\$0.00
205-01-0000	ASPHALT CONCRETE	TON	\$ 280.00	1,699.0	\$475,720.00	1,699.0	\$475,720.00		\$0.00		\$0.00
205-04-0000	INSTALL ASPHALT PAVEMENT (1" THICK)	SQ. YD.	\$ 5.00	8,617.0	\$43,085.00	8,617.0	\$43,085.00		\$0.00		\$0.00
205-04-0000	24" STORM DRAIN PIPE (CPPPDW)	LNK FT.	\$ 250.00	99.0	\$24,750.00	99.0	\$24,750.00		\$0.00		\$0.00
205-04-0000	24" STORM DRAIN PIPE (CPPPDW)	LNK FT.	\$ 350.00	178.0	\$62,300.00	143.0	\$50,050.00	35.00	\$12,250.00		\$0.00
205-04-0000	30" STORM DRAIN PIPE (CPPPDW)	LNK FT.	\$ 450.00	200.0	\$90,000.00	235.0	\$105,750.00	-35.00	-\$15,750.00		\$0.00
205-04-0000	18" STORM DRAIN PIPE (CPPPDW)	LNK FT.	\$ 550.00	48.0	\$26,400.00	48.0	\$26,400.00		\$0.00		\$0.00
205-14-0000	24" BCCSP (EXTENSION)	LNK FT.	\$ 350.00	13.0	\$4,550.00	13.0	\$4,550.00		\$0.00		\$0.00
202-01-0000	DRAIN MANHOLE	EACH	\$ 7,500.00	1.0	\$7,500.00	1.0	\$7,500.00		\$0.00		\$0.00
202-04-0000	14" TO 4" DRAIN CHUTE	EACH	\$ 5,000.00	6.0	\$30,000.00	6.0	\$30,000.00		\$0.00		\$0.00
202-04-0000	ADJUSTING MANHOLES	EACH	\$ 500.00	6.0	\$3,000.00	6.0	\$3,000.00		\$0.00		\$0.00
202-04-0000	ADJUSTING DRAIN INLETS	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00		\$0.00	1	\$500.00
211-01-0000	RP RAP (30 LB, 1/4" THICK)	SQ. YD.	\$ 100.00	343.2	\$34,322.00	343.2	\$34,322.00		\$0.00		\$0.00
211-01-0000	TEMPORARY SIGNS AND BARRICADES	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00
221-01-0000	IMMOBILIZATION / DEMOBILIZATION	LUMP SUM	\$ 275,000.00	1.0	\$275,000.00	1.0	\$275,000.00		\$0.00		\$0.00
221-01-0000	REFLECTORIZED RAISED PAVEMENT MARKERS	EACH	\$ 25.00	7.0	\$175.00	7.0	\$175.00		\$0.00		\$0.00
221-01-0000	HYDRO-SEALING	ACRE	\$ 3,500.00	2.2	\$7,553.00	2.2	\$7,553.00		\$0.00		\$0.00
201-01-0000	CONSTRUCTION LAYOUT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00
211-11-0000	ADJUST WATER VALVE	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00		\$0.00		\$0.00
211-13-0000	DISCONNECT VALVE (8")	EACH	\$ 15,000.00	1.0	\$15,000.00	1.0	\$15,000.00		\$0.00		\$0.00
15-243-10000	8" WATER LINE CUTOUT	EACH	\$ 10,000.00	3.0	\$30,000.00	3.0	\$30,000.00		\$0.00		\$0.00
16-105-00000	CORPORATORY EXCAVATION	CJ. YD.	\$ 300.00	40.0	\$12,000.00	40.0	\$12,000.00		\$0.00		\$0.00
5401	FIBER REINFORCED POLYMER (FRP) SHEET PILE	SQ. FT.	\$ 35.00	27,702.0	\$969,570.00	27,702.0	\$969,570.00		\$0.00		\$0.00
5402	PILE-CONSTRUCTION VIDEO	LUMP SUM	\$ 25,000.00	1.0	\$25,000.00	1.0	\$25,000.00		\$0.00		\$0.00
5403	STEEL SHEET PILE PENETRATION	LUMP SUM	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00		\$0.00		\$0.00
5404	DRAINAGE STABILIZATION WALLS	EACH	\$ 1,000.00	12.0	\$12,000.00	12.0	\$12,000.00		\$0.00		\$0.00
5405	FRP COMPOSITE WALLS	LNK FT.	\$ 125.00	1,458.0	\$182,250.00	1,458.0	\$182,250.00		\$0.00		\$0.00
5406	EXCAVATION AND REPLACEMENT OF UNSUITABLE MATERIAL	CJ. YD.	\$ 10.00	1,523.0	\$15,230.00	1,523.0	\$15,230.00		\$0.00		\$0.00
5407	REBUILD SANITARY SEWER CONFLICT BOX	EACH	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00		\$0.00		\$0.00
5408	RELOCATION OF INFRASTRUCTURE	LUMP	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00
5409	WATERLINE CROSSING (8" DUCTILE IRON)	LUMP	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00
5410	PAVEMENT PATCHING	SQ. YD.	\$ 75.00	2,307.0	\$173,025.00	2,307.0	\$173,025.00		\$0.00		\$0.00
5411	HEADWALL WITH WINGWALLS	EACH	\$ 30,000.00	1.0	\$30,000.00	1.0	\$30,000.00		\$0.00		\$0.00
5412-01	FIBER REINFORCED POLYMER (FRP) SHEET PILE - JET FILTER (STORED)	SQ. FT.	\$ 1.33	27,702.0	\$36,873.66	27,702.0	\$36,873.66		\$0.00		\$0.00
5412-02	FIBER REINFORCED POLYMER (FRP) SHEET PILE - SHEET PILE (STORED)	SQ. FT.	\$ 18.75	0.0	\$0.00	0.0	\$0.00		\$0.00		\$0.00
02-1-001	REMOVE AND REPLACE EXISTING CONCRETE DRIVES	SQ.YD.	\$ 116.24	54.0	\$6,276.96	54.0	\$6,276.96		\$0.00		\$0.00
02-1-002	DRAIN MANHOLE FRAME AND COVER	EACH		0.0	\$0.00	0.0	\$0.00		\$0.00		\$0.00
					Stored Material		\$34,073.66				
Additional contract days requested: Zero (0)			Amount of over run and under run					Check	-\$3,500.00	Total	\$500.00
				TOTAL	\$3,935,641.96	TOTAL	\$2,939,141.96				

STATE OF LOUISIANA
DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT
REQUEST FOR INFORMATION

State Project No.: P210702	RFI Number: 10
Project Name: Barber Road Bank Stabilization	Date Received: 12/4/2023
Project Manager: Arthur Ledet	Date Required: 12/5/2023
Project Engineer: Frank Zemmer	Forwarded To:
Contractor: Command Construction, LLC	Date Responded:
Specification No.:	Page No.:
check one: <input checked="" type="checkbox"/> RFI	<input type="checkbox"/> Design Modification
check one: <input type="checkbox"/> Standard Specification	<input type="checkbox"/> Supplemental Specification
	<input type="checkbox"/> Proposed VE Special Provision
Plan Sheet No.: 9	Detail:
REQUEST:	
At STA 121+26 where DI#5 is to be placed, there is a swale along the property line that drains towards this DI. The TOC of the existing DI and the new DI are the same @ -.43'. Currently, the swale does not drain into grating as the grating is higher than the bottom of the swale. In the exiting DI there is a hole cut in it to let water flow into the box.	
PROPOSED SOLUTION (If applicable):	
Engineer to direct Command on how they want us to proceed with getting water from the yard to the DI.	
By: Bradley Cieslinski	Signature: <i>Bradley Cieslinski</i>
	Date: 12/4/2023
RESPONSE:	
By:	
Signature:	
Date:	
After reviewing the response, does the contractor anticipate:	
That a change order will be required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
That there will be an increase in the cost of the project?	<input type="checkbox"/> Yes <input type="checkbox"/> NO <i>MAYBE?</i>



SECTION 00805

WORK CHANGE DIRECTIVE

No. Five(5)

DATE OF ISSUANCE 12/18/2023 EFFECTIVE DATE 12/18/2023

Owner: St. Charles Parish
Contractor: Command Construction Industries, LLC.
Contract: _____
Project: Barber Road Bank Stallization
Owner's Contract No.: P210702 Engineer's Contract No.: 365-021-001
ENGINEER: Richard C. Lambert Consultants, LLC

Contractor is directed to proceed promptly with the following change(s):

Description: Enter description of changes for Contractor.

The cross drain at Sta. 132+42 was added to the project per SCP DPW during the pre-construction walk through due to the culvert being washed out. Additionally, at Sta. 115+79 the pipe was extended an additional 10 LF due to the pipe invert being adjusted to avoid conflicting utilities. 701-03-01022 - 18" STORM DRAIN PIPE (CPPPDW) - 50 LF (40 LF for Sta. 132+42 & 10 LF for Sta. 115+79)
711-01-00300 - RIP RAP (30 LB, 14" THICK) - 11.11 SY

Attachments: (List documents supporting change) List of supporting documents.
Pages 3-4 - Mark-up plan sheets 8 & 11

Purpose for Work Change Directive:

Directive to proceed promptly with the Work described herein, prior to agreeing to changes on Contract Price and Contract Time, is issued due to: (check one)

- Non-agreement on pricing of proposed change.
- Necessity to proceed for schedule or other project reasons.

Estimated Change in Contract Price and Contract Times (non-binding, preliminary):

Contract Price: \$ 13,611.00 (Increase) [increase] [decrease]
Contract Time One (1) days [increase] [decrease]

Basis of estimated change in Contract Price:

- Lump Sum Unit Price
- Cost of the Work Other

Recommended: Limited Authorization By*: Received:
By: [Signature] By: [Signature] By: [Signature]
Engineer (Authorized Signature) Owner's Representative* Contractor (Authorized Signature)
Title: Project Engineer Title: Director, Public Works Title: MEMBER
Date: 12/19/23 Date: 12/19/2023 Date: 12-19-23

*Owner's Representative is not authorized to finalize a Change Order nor does the Work Change Directive substitute the Change Order process as more fully set out in the General Conditions of the Construction Contract.

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____

**SECTION 00805
WORK CHANGE DIRECTIVE**

WORK CHANGE DIRECTIVE

PROJ. NO. P210702
NAME BARBER ROAD BANK STABILIZATION

Change Order No. Five(5)

Date Initiated: December 18, 2023

Engineer's description, explanation, & estimated cost of proposed revision:

Page 1 of 1

In order to facilitate plans for local development, the Parish has opted to make changes / additions to the Project requirements that result in quantity changes to the following existing items:

Adjustment to Contract Totals:

701-03-01022 - 18" STORM DRAIN PIPE (CPPPDW) - 50 LF (40 LF for Sta. 132+42 & 10 LF for Sta. 115+75)

711-01-00300 - R/P RAP (30 LB, 14" THICK) - 11.11 SY

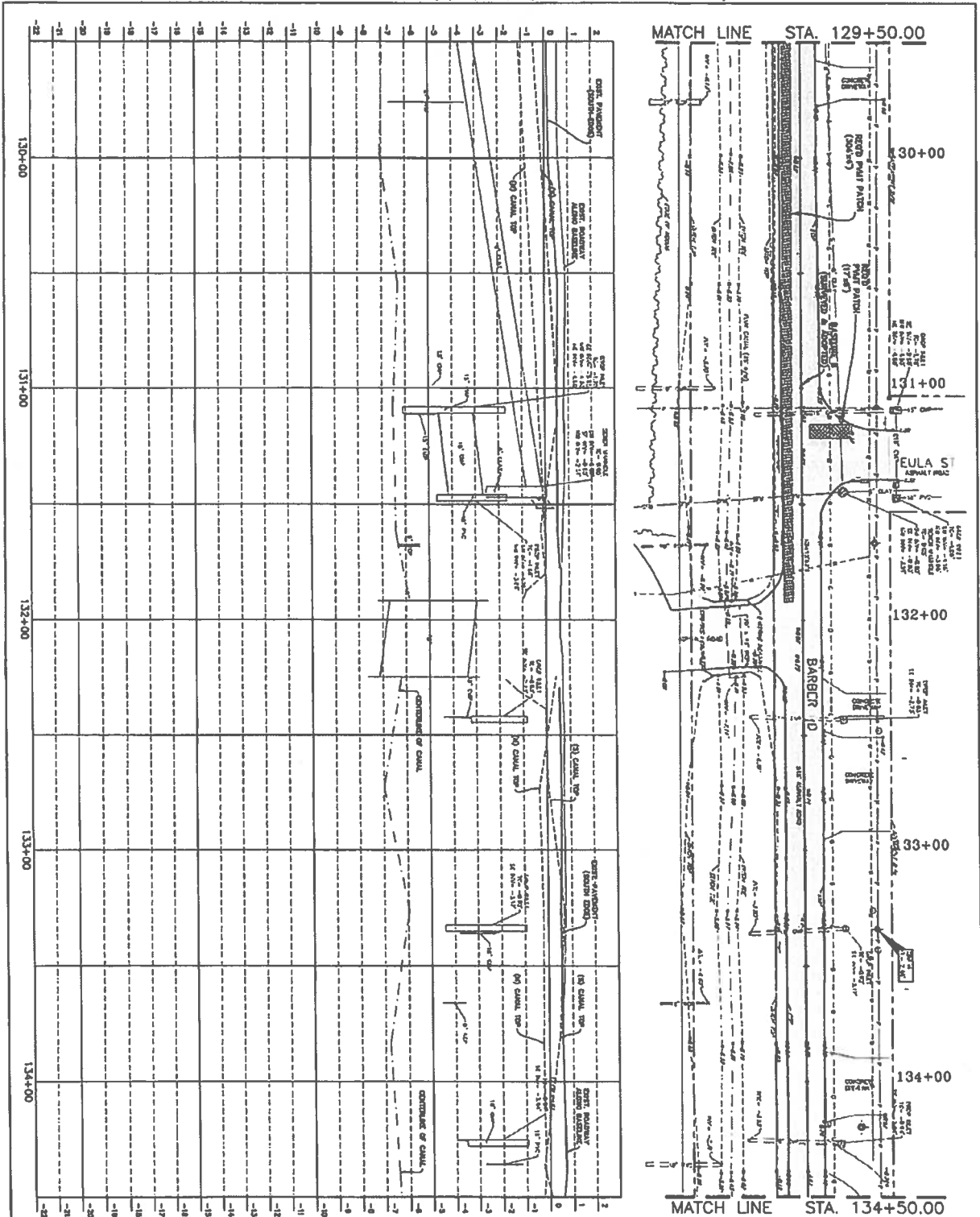
Existing Quantity In Contract:

5-010 - PAVEMENT PATCHING - 16 SY

There is requested Increase In contract time of One(1) day due to the cost of the above changes.

The approving will necessitate the following changes in quantities (if space not sufficient, use extra forms):

ITEM NO.	ITEM	UNIT	UNIT PRICE	REVISED (WCD #1,#2,#3,#4 & #5)		ORIGINAL +WCD #1,#2,#3 & #4		ADDITIONAL		DISTING QUANTITY	AMOUNT	
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	CHANGE ORDER QUANTITY	AMOUNT			
301-05-00000	CLEARING AND GRUBBING	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00	
303-05-00000	REMOVAL OF STRUCTURES AND OBSTRUCTIONS	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00	
304-05-00000	EXCAVATION AND EMBANKMENT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00	
305-05-00000	TEMPORARY MAT OR STRAW BALES	EACH	\$ 10.00	75.0	\$750.00	75.0	\$750.00		\$0.00		\$0.00	
306-05-00000	TEMPORARY SILT FENCING	LINE FT.	\$ 5.00	3,237.0	\$16,185.00	3,237.0	\$16,185.00		\$0.00		\$0.00	
307-05-00000	ASPHALT CONCRETE	TDW	\$ 280.00	1,699.0	\$475,720.00	1,699.0	\$475,720.00		\$0.00		\$0.00	
309-05-00000	WELDED ASPHALT PAVEMENT (1" THICK)	SQ. YD.	\$ 5.00	8,617.0	\$43,085.00	8,617.0	\$43,085.00		\$0.00		\$0.00	
701-03-01022	18" STORM DRAIN PIPE (CPPPDW)	LINE FT.	\$ 250.00	149.0	\$37,250.00	99.0	\$24,750.00	50.00	\$12,500.00		\$0.00	
703-03-02000	30" STORM DRAIN PIPE (CPPPDW)	LINE FT.	\$ 350.00	178.0	\$62,300.00	178.0	\$62,300.00		\$0.00		\$0.00	
703-03-02000	30" STORM DRAIN PIPE (CPPPDW)	LINE FT.	\$ 450.00	200.0	\$90,000.00	200.0	\$90,000.00		\$0.00		\$0.00	
703-03-02000	30" STORM DRAIN PIPE (CPPPDW)	LINE FT.	\$ 550.00	48.0	\$26,400.00	48.0	\$26,400.00		\$0.00		\$0.00	
703-03-02000	34" BCCSP (EXTENSADON)	LINE FT.	\$ 350.00	13.0	\$4,550.00	13.0	\$4,550.00		\$0.00		\$0.00	
703-03-02000	DRAIN MANHOLE	EACH	\$ 7,500.00	1.0	\$7,500.00	1.0	\$7,500.00		\$0.00		\$0.00	
703-03-02000	24" DI" DRAIN INLET	EACH	\$ 5,000.00	6.0	\$30,000.00	6.0	\$30,000.00		\$0.00		\$0.00	
703-03-02000	ADJUSTING MANHOLES	EACH	\$ 500.00	6.0	\$3,000.00	6.0	\$3,000.00		\$0.00		\$0.00	
703-03-02000	ADJUSTING DRAIN INLETS	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00		\$0.00		\$0.00	
711-01-00300	R/P RAP (30 LB, 14" THICK)	SQ. YD.	\$ 100.00	354.3	\$35,433.00	343.2	\$34,322.00	11.11	\$1,111.00		\$0.00	
712-01-00000	TEMPORARY SIGNS AND BARRICADES	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00	
727-04-00000	MOBILIZATION / DEMOBILIZATION	LUMP SUM	\$ 275,000.00	1.0	\$275,000.00	1.0	\$275,000.00		\$0.00		\$0.00	
729-03-00000	ALUMINUM RASSED PAVEMENT MARKERS	EACH	\$ 25.00	7.0	\$175.00	7.0	\$175.00		\$0.00		\$0.00	
729-03-00000	HYDRO-SEALING	ADRE	\$ 3,500.00	2.2	\$7,553.00	2.2	\$7,553.00		\$0.00		\$0.00	
703-03-02000	CONSTRUCTION LAYOUT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00	
711-03-01000	ADJUST WATER VALVE	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00		\$0.00		\$0.00	
711-03-01000	INSERTION VALVE (8")	EACH	\$ 15,000.00	1.0	\$15,000.00	1.0	\$15,000.00		\$0.00		\$0.00	
10-715-10000	8" WATER LINE OFFSET	EACH	\$ 10,000.00	3.0	\$30,000.00	3.0	\$30,000.00		\$0.00		\$0.00	
45-100-00000	EXPLOSIVE EXCAVATION	CU. YD.	\$ 300.00	40.0	\$12,000.00	40.0	\$12,000.00		\$0.00		\$0.00	
5-001	FIBER REINFORCED POLYMER (FRP) SHEET PILE	SQ. FT.	\$ 35.00	27,702.0	\$969,570.00	27,702.0	\$969,570.00		\$0.00		\$0.00	
5-002	PRE-CONSTRUCTION VIDEO	LUMP SUM	\$ 25,000.00	1.0	\$25,000.00	1.0	\$25,000.00		\$0.00		\$0.00	
5-003	STEEL SHEET PILE PENETRATION	LUMP SUM	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00		\$0.00		\$0.00	
5-004	DRAINAGE STABILIZATION WALLS	EACH	\$ 1,000.00	12.0	\$12,000.00	12.0	\$12,000.00		\$0.00		\$0.00	
5-005	FRP COMPOSITE WALLS	LINE FT.	\$ 123.00	1,458.0	\$182,250.00	1,458.0	\$182,250.00		\$0.00		\$0.00	
5-006	EXCAVATION AND REPLACEMENT OF UNSUITABLE MATERIAL	CU. YD.	\$ 10.00	1,523.0	\$15,230.00	1,523.0	\$15,230.00		\$0.00		\$0.00	
5-007	REPLACE SANITARY SEWER CONDUIT BOX	EACH	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00		\$0.00		\$0.00	
5-008	RELOCATION OF INFRASTRUCTURE	LUMP	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00	
5-009	WATERBINE CROSSING (8" DUCTILE IRON)	LUMP	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00		\$0.00	
5-010	PAVEMENT PATCHING	SQ. YD.	\$ 75.00	2,307.0	\$173,025.00	2,307.0	\$173,025.00		\$0.00	16	\$1,200.00	
5-011	HEADWALL WITH WINGWALLS	EACH	\$ 30,000.00	1.0	\$30,000.00	1.0	\$30,000.00		\$0.00		\$0.00	
5-012-001	FIBER REINFORCED POLYMER (FRP) SHEET PILE - JET FILTER (STORED)	SQ. FT.	\$ 1.23	27,702.0	\$34,073.46	27,702.0	\$34,073.46		\$0.00		\$0.00	
5-012-002	FIBER REINFORCED POLYMER (FRP) SHEET PILE - SHEET PILE (STORED)	SQ. FT.	\$ 18.75	0.0	\$0.00	0.0	\$0.00		\$0.00		\$0.00	
03-0-001	REMOVE AND REPLACE EXISTING CONCRETE DRAINS	SQ.YD	\$ 116.24	54.0	\$6,276.96	54.0	\$6,276.96		\$0.00		\$0.00	
03-0-002	DRAIN MANHOLE FRAME AND COVER	EACH	\$ 0.00	0.0	\$0.00	0.0	\$0.00		\$0.00		\$0.00	
Additional contract days requested: Zero (0)				Amount of over run and under run		TOTAL			Check	\$13,611.00	Total	\$1,200.00
				\$13,611.00	TOTAL	\$1,949,252.96	TOTAL	\$2,935,641.96				



LEGEND OF WORK ITEMS

[Symbol]	DRAINAGE PART PAVC
[Symbol]	DRAINAGE PART CONC
[Symbol]	DRAINAGE PART GRAV
[Symbol]	DRAINAGE PART SAND
[Symbol]	RIGHT SIDE PER-SIP
[Symbol]	REINFORCED BRICK DAMN WALL
[Symbol]	REINFORCED CONCR. DAMN WALL
[Symbol]	REINFORCED CONCR. DAMN WALL

NOTE:

THE QUANTITY OF WORK DESCRIBED IS LISTED TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE CONTRACTOR SHALL VERIFY THE QUANTITIES AND CONDITIONS OF THE WORK TO BE PERFORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, STRUCTURES, AND OTHER WORKS IN THE AREA.

1" = 10' (SEE NOTE)



DRAINAGE PLAN/PROFILE		DATE	

BARBER ROAD BANK STABILIZATION

RICHARD C. LAMBERT CONSULTANTS, L.L.C.

800 W. Cassinway Approach
 Shreveville LA 70411
 985-727-4440
 Fax: 985-727-4447

SECTION 00805

WORK CHANGE DIRECTIVE

No. Six (6)

DATE OF ISSUANCE 12/27/2023 EFFECTIVE DATE 12/27/2023

Owner: St. Charles Parish
Contractor: Command Construction Industries, LLC.
Contract: _____
Project: Barber Road Bank Stabilization
Owner's Contract No.: P210702 Engineer's Contract No.: 365-021-001
ENGINEER: Richard C. Lambert Consultants, LLC

Contractor is directed to proceed promptly with the following change(s):

Description: Enter description of changes for Contractor.
In reference to RFI #5 & COR #4, Command is directed to replace the existing D.I. with a conflict box(Brick or CIP) using bituminous coated corrugated steel split casing around the existing sewer house connection and tie in existing 15" RCP drainage to new conflict box. Split casing to be 8" min (up-sized from existing 6" sewer line). In addition, replace the existing 24" PVC drain line with 24" STORM DRAIN PIPE (CPPPDW) in lieu of the proposed 30" Pipe to avoid existing SFM and gas line utility conflicts.

Attachments: (List documents supporting change) List of supporting documents.

- Page 2 : WCD #6 cost estimate spreadsheet
- Pages 3 - 7 : Command Change Order Request #4
- Page 8 : Conflict Box detail
- Page 9 : Mark-up plan sheet (Sta. 113+40 - Revision Cloud)

Purpose for Work Change Directive:

Directive to proceed promptly with the Work described herein, prior to agreeing to changes on Contract Price and Contract Time, is issued due to: (check one)

- Non-agreement on pricing of proposed change.
- Necessity to proceed for schedule or other project reasons.

Estimated Change in Contract Price and Contract Times (non-binding, preliminary):

Contract Price: \$ 4,324.53 (Increase) [increase] [decrease]
Contract Time One (1) days [increase] [decrease]

Basis of estimated change in Contract Price:

- Lump Sum Unit Price
- Cost of the Work Other

Recommended: Limited Authorization By*: Received:
By: [Signature] By: [Signature] By: [Signature]
Engineer (Authorized Signature) Owner's Representative* Contractor (Authorized Signature)
Title: Project Engineer Title: Public Works Director Title: MANAGING MEMBER
Date: 01/08/2024 Date: 01/02/2024 Date: 1/8/2024

*Owner's Representative is not authorized to finalize a Change Order nor does the Work Change Directive substitute the Change Order process as more fully set out in the General Conditions of the Construction Contract.

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____

**SECTION 00805
WORK CHANGE DIRECTIVE**

WORK CHANGE DIRECTIVE

PROJ. NO. P230702
NAME BARBER ROAD BANK STABILIZATION

Change Order No. Six (6)

Date Initiated, December 27, 2023

Engineer's Description, explanation, & estimate (cost) of proposed revision.

Page 1 of 1

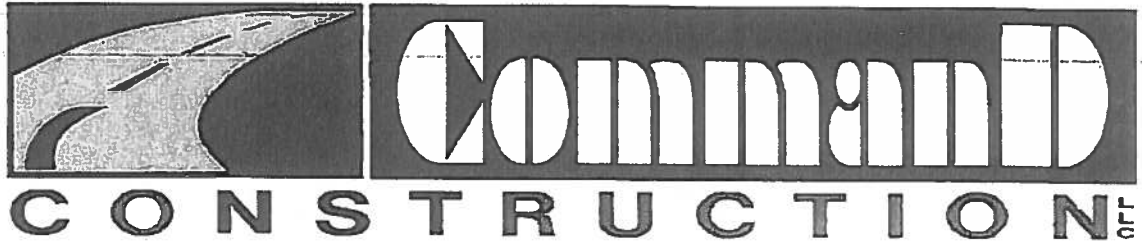
In order to facilitate plans for local development, the Parish has opted to make changes / additions to the Project requirements that result in quantity changes to the following existing items:

Adjustment to Contract Total:
 Add Item 006-001 - CONFLICT BOX - 1 Each
 Increase 701-03-03062 - 24" STORM DRAIN PIPE (CPPFDW) - 64 LF
 Decrease 701-03-01062 - 30" STORM DRAIN PIPE (CPPFDW) - (64 LF)

There is requested increase in contract time of One (1) day due to the cost of the above changes.

The preceding will not enclose the following changes in quantity of space is not sufficient, use extra format:

ITEM NO.	ITEM	UNIT	UNIT PRICE	REVISED QUANTITY & AMOUNT		ORIGINAL QUANTITY & AMOUNT		ADDITIONAL		EXISTING QUANTITY	AMOUNT	
				QUANTITY	AMOUNT	QUANTITY	AMOUNT	CHANGE ORDER QUANTITY	AMOUNT			
0100-0000	CLIPPING AND GRUBBING	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
0200-0000	REMOVAL OF STRUCTURES AND OBSTRUCTIONS	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
0300-0000	EXCAVATION AND EMBANKMENT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
0400-0000	TEMPORARY MAT OR STRAIN WALL	EACH	\$ 75.00	75.0	\$7,500.00	75.0	\$7,500.00			\$0.00	\$0.00	
0500-0000	TEMPORARY Silt FILLING	CU. YD.	\$ 5.00	3,237.0	\$16,185.00	3,237.0	\$16,185.00			\$0.00	\$0.00	
0600-0000	ASPHALT CONCRETE	TON	\$ 280.00	1,699.0	\$475,720.00	1,699.0	\$475,720.00			\$0.00	\$0.00	
0700-0000	WELDED ASPHALT FRYE MAT 1 1/2" THICK	SQ. YD.	\$ 5.00	8,617.0	\$43,085.00	8,617.0	\$43,085.00			\$0.00	\$0.00	
701-03-01062	30" STORM DRAIN PIPE (CPPFDW)	LINEAL FT.	\$ 250.00	149.0	\$37,250.00	149.0	\$37,250.00			\$0.00	\$0.00	
701-03-01062	30" STORM DRAIN PIPE (CPPFDW)	LINEAL FT.	\$ 350.00	242.0	\$84,700.00	178.0	\$62,300.00	64.00	\$12,400.00		\$0.00	
701-03-03062	24" STORM DRAIN PIPE (CPPFDW)	LINEAL FT.	\$ 450.00	136.0	\$61,200.00	200.0	\$90,000.00	-64.00	-\$28,800.00		\$0.00	
701-03-03062	24" STORM DRAIN PIPE (CPPFDW)	LINEAL FT.	\$ 550.00	48.0	\$26,400.00	48.0	\$26,400.00			\$0.00	\$0.00	
701-03-03062	24" BCCIP BENT DRIVING	LINEAL FT.	\$ 350.00	13.0	\$4,550.00	13.0	\$4,550.00			\$0.00	\$0.00	
701-03-03062	BRANCH MANHOLE	EACH	\$ 7,500.00	1.0	\$7,500.00	1.0	\$7,500.00			\$0.00	\$0.00	
701-03-03062	24" 30" DRINK INLET	EACH	\$ 5,000.00	6.0	\$30,000.00	6.0	\$30,000.00			\$0.00	\$0.00	
701-03-03062	ADJUSTING MANHOLES	EACH	\$ 500.00	6.0	\$3,000.00	6.0	\$3,000.00			\$0.00	\$0.00	
701-03-03062	ADJUSTING DRAIN HOLETS	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00			\$0.00	\$0.00	
701-03-03062	RP RAMP (30 LB., 1/4" THICK)	SQ. YD.	\$ 100.00	354.3	\$35,430.00	354.3	\$35,430.00			\$0.00	\$0.00	
7100-0000	TEMPORARY SIGNS AND BARRIAGES	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
7100-0000	MOBILIZATION DEMONSTRATION	LUMP SUM	\$ 275,000.00	1.0	\$175,000.00	1.0	\$275,000.00			\$0.00	\$0.00	
7100-0000	REFLECTORIZED GRAYED PAVEMENT MARKERS	EACH	\$ 25.00	7.0	\$175.00	7.0	\$175.00			\$0.00	\$0.00	
7100-0000	HYDRO-SEALING	EACH	\$ 3,500.00	2.2	\$7,550.00	2.2	\$7,550.00			\$0.00	\$0.00	
7100-0000	CONSTRUCTION LAYOUT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
7100-0000	ADJUST WATER VALVE	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00			\$0.00	\$0.00	
7100-0000	INSERTION VALVE (CV)	EACH	\$ 15,000.00	1.0	\$15,000.00	1.0	\$15,000.00			\$0.00	\$0.00	
7100-0000	WATER LEVEL METER	EACH	\$ 10,000.00	3.0	\$30,000.00	3.0	\$30,000.00			\$0.00	\$0.00	
7100-0000	SAFETY ORANGE CONE	CU. YD.	\$ 300.00	40.0	\$12,000.00	40.0	\$12,000.00			\$0.00	\$0.00	
7100-0000	7' X 6' REINFORCED POLYMER (FPM) SHEET PILE	LINEAL FT.	\$ 35.00	27,702.0	\$969,570.00	27,702.0	\$969,570.00			\$0.00	\$0.00	
7100-0000	PILE CONNECTION VIDEO	LUMP SUM	\$ 25,000.00	1.0	\$25,000.00	1.0	\$25,000.00			\$0.00	\$0.00	
7100-0000	STEEL SHEET PILE PENETRATION	LUMP SUM	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00			\$0.00	\$0.00	
7100-0000	TO RAMPAGE STABILIZATION WALLS	EACH	\$ 1,000.00	12.0	\$12,000.00	12.0	\$12,000.00			\$0.00	\$0.00	
7100-0000	RP COMPOSITE WALLER	LINEAL FT.	\$ 125.00	1,458.0	\$182,250.00	1,458.0	\$182,250.00			\$0.00	\$0.00	
7100-0000	EXCAVATION AND REPLACEMENT OF UNSUITABLE MATERIAL	CU. YD.	\$ 10.00	1,523.0	\$15,230.00	1,523.0	\$15,230.00			\$0.00	\$0.00	
7100-0000	REBUILD SAND FILL UNDER CONFLICT BOX	EACH	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00			\$0.00	\$0.00	
7100-0000	RELOCATION OF INFRASTRUCTURE	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
7100-0000	WATERMAIN CROSSING (CV) CULVERT (RAMP)	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00			\$0.00	\$0.00	
7100-0000	TRAVELWAY PATCHING	SQ. YD.	\$ 75.00	2,307.0	\$173,025.00	2,307.0	\$173,025.00			\$0.00	\$0.00	
7100-0000	HEADWALL WITH MANHOLES	EACH	\$ 30,000.00	1.0	\$30,000.00	1.0	\$30,000.00			\$0.00	\$0.00	
7100-0000	7' X 6' REINFORCED POLYMER (FPM) SHEET PILE - (ET F3.1EA) STORAGE	SQ. FT.	\$ 1.23	27,702.0	\$34,073.46	27,702.0	\$34,073.46			\$0.00	\$0.00	
7100-0000	7' X 6' REINFORCED POLYMER (FPM) SHEET PILE - SHEET PILE STORAGE	SQ. FT.	\$ 18.75	0.0	\$0.00	0.0	\$0.00			\$0.00	\$0.00	
7100-0000	REMOVE AND REPLACE EXISTING CONCRETE DRIVES	SQ. YD.	\$ 116.24	54.0	\$6,276.96	54.0	\$6,276.96			\$0.00	\$0.00	
7100-0000	BRANCH MANHOLE FRAME AND COVER	EACH	\$ 0.00	0.0	\$0.00	0.0	\$0.00			\$0.00	\$0.00	
7100-0000	CONFLICT BOX	EACH	\$ 10,724.53	1.0	\$10,724.53	0.0	\$0.00	1.00	\$10,724.53		\$0.00	
				Stored Material		\$34,073.46		\$34,073.46				
Additional contract days required: <u>One (1)</u>			Amount of over run and under run	\$4,324.53	TOTAL	\$2,953,577.49	TOTAL	\$2,949,252.96	Check	\$4,324.53	Total	\$0.00



December 13, 2023

RCL Consultants
Mandeville, LA
Attn: Arthur Ledet

Re: Barber Road Stabilization Project
COR Conflict Box at STA 113+40-Revised
CO-4

Dear Mr. Ledet,

Command Construction is submitting this COR to cover all additional costs for all labor, equipment, and materials used to complete the work to install a conflict box at STA 113+40 where there is a sewer house connection in conflict with the 30" drain line.

Please create a change order to cover \$ 10,724.53 Lump Sum and add 1 calendar day to the project.

See attached.

Regards,

For
Scott Kuepferle- VP/ Construction Services
Command Construction, LLC
68445 James Street
Mandeville, LA 70471

Cc: Derek Commander – Managing Member
Christian Commander- Operations Manager
Bradley Cieslinski- Asst Project Manager
Project Files

**68445 James Street
Mandeville, LA 70471
(504) 887-8795 Phone (504) 887-8906 Fax**



Barber Road Bank Stabilization

BRICK UP BOX @ STA 116+50

LABOR				
	NUMBER	HOURS	RATE	EXTENSION
FOREMAN	1	4	\$ 40.00	\$ 160.00
H.OPERATOR	1	4	\$ 30.00	\$ 120.00
L. OPERATOR	1	4	\$ 26.00	\$ 104.00
L.LABORER	1	4	\$ 23.00	\$ 92.00
P.LABORER	2	4	\$ 21.00	\$ 168.00
FINISHER/BRICK LAYER	3	10	\$ 24.00	\$ 720.00
SUBTOTAL				\$ 1,364.00
EQUIPMENT				
	NUMBER	HOURS/ DAY	RATE	EXTENSION
PICK UP TRUCK	1	8	\$ 17.96	\$ 143.68
420 RT BACKHOE	1	12	\$ 75.48	\$ 905.76
315 CAT EXCAVATOR	1	8	\$ 136.71	\$ 1,093.68
SUBTOTAL				\$ 1,999.44
MATERIALS				
	NUMBERS	UNIT	UNIT PRICE	EXTENSION
12" Asphalt Coated split casing	20	lf	\$ 107.19	\$ 2,143.80
24x24 Frame and Grate	1	EA	\$ 289.75	\$ 289.75
Brick w/ freight	1,005	Cube	\$ 1,250.00	\$ 1,256.25
Grout	10	Bag	\$ 17.65	\$ 176.50
Sand	20	Bag	\$ 7.50	\$ 150.00
2"x6"x16' Lumber	3	EA	\$ 8.55	\$ 25.65
#4x20' Rebar	5	EA	\$ 6.95	\$ 34.75
Concrete	2	CY	\$ 156.00	\$ 312.00
TAX	9.20%			\$ 403.76
SUBTOTAL				\$ 4,792.46
SUBCONTRACTOR				
	NUMBERS	UNIT	UNIT PRICE	EXTENSION
TRUCK	4	HR	\$ 95.00	\$ 380.00
SUBTOTAL				\$ 380.00
DIRECT LABOR				\$ 1,364.00
BURDEN (57.53%)				\$ 784.71
DIRECT LABOR MARKUP (15%)				\$ 322.31
MATERIALS				\$ 4,792.46
MATERIALS (15%)				\$ 718.87
SUBCONTRACTOR				\$ 380.00
SUBCONTRACTOR (10%)				\$ 38.00
EQUIPMENT				\$ 1,999.44
EQUIPMENT (10%)				\$ 199.94
BOND (1.2%)				\$ 124.80
SUBTOTAL				\$ 10,724.53



Brick & Block Products, LLC

P.O. Box 8707
 Mandeville, LA 70470-8707
 Jefferson 504-734-0234 Fax -734-0454
 Mandeville 985-892-7567 Fax -892-7577

ESTIMATE

Date	Ticket #
12/20/2023	41009

www.brickandblockproductsllc.com

Name / Address		Ship To	
CASH Command Construction 985-778-3484 Brad		Brad Command Constr 985-778-3484	

P.O. No.	Due Date	Rep	Project	Warehouse
	12/20/2023	DM		

Item	Description	Qty	Cost	Total
BackUpClosure	Back Up Closure (3 Cu @ 335 per cube) = 1,005 Closure Brick	1.005	1,050.00	1,055.25T
TypeNHolcim	Holcim Type N (45 bags per pallet)	10	17.65	176.50T
PKM	PakMix Commercial Fine Sand 100	20	7.50	150.00T
Delivery	Delivery Fee	1	200.00	200.00

Thank You for your business	Subtotal	\$1,581.75
Please note estimates are a courtesy to our customers and that all estimates are subject to verification by field measurement.	Sales Tax (9.2%)	\$127.12
	Total	\$1,708.87

Signature _____



CMC
600 St. George Ave
Jefferson, LA 70121

Bid/Letting Date:

Quote Date December 13, 2023

QUOTE#
Customer COMMAND
Contact BRAD
Project Name BARBER ROAD
Location
Project #

Phone#
Fax#
EMAIL:

QTY	UM	DESCRIPTION	PRICE	EXTENSION
3	EA	2" X 6" X 16' LUMBER UNTREATED	\$ 8.55	\$ 25.65
5	EA	#4 X 20' REBAR	\$ 6.95	\$ 34.75
			\$	-
			\$	-
			\$	-
			\$	-
			\$	-
			\$	-
			\$	-
			\$	-
			\$	-
			\$	-
			TOTAL	\$ 60.40

Notes:

COVID-19

Not with standing any provision(s) of this proposal or potential Subcontract or Purchase Order, if Vendor's work is delayed, disrupted, suspended, or otherwise impacted as a direct result of an epidemic, including, but not limited to, (1) disruptions to material and/or equipment supply; (2) illness of Vendor's workforce and/or unavailability of labor; (3) government quarantines, closures, or other mandates, restrictions, and/or directives; (4) Owner or Contractor restriction and/or directives; and/or (5) fulfillment of Vendor's contractual or legal health and safety obligations associated with an epidemic; then Vendor shall be entitled to an equitable adjustment to the Subcontract schedule and duration to account for such delays, disruptions, suspensions, and impacts. To the extent the causes identified herein result in an increase in the price of labor, materials, or equipment used in the performance of the Subcontract or Purchase Order, Vendor shall be entitled to an equitable adjustment to the Subcontract or Purchase Order price for such increases, provided Vendor presents documentation of such increases (including the original prices) and evidence of Vendor's reasonable efforts to find alternative sources of material or equipment supply and/or labor at the original, un-impacted prices.

All quantities should be considered for estimating purposes only and are not a guarantee of quantities required.

COMMAND BARBER LUMBER STEEL

Cmsco, inc.

504.835.7319 • Fax 504.832.0820

Office/Warehouse
1840 L & A Road
Metairie, LA 70001

QUOTATION

Quote Number: Barber Rd Casing

Quote Date: Dec 11, 2023

Page: 1

Quoted To:

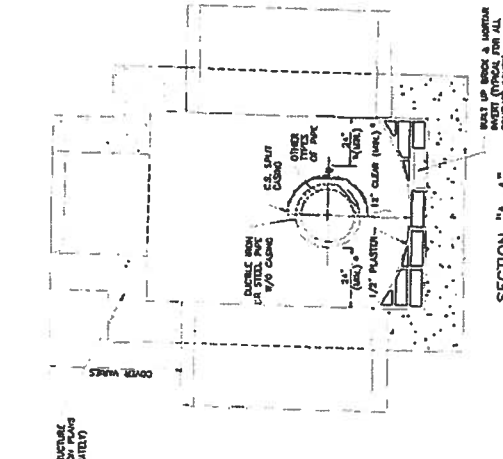
COMMAND CONSTRUCTION INDUSTRIES LLC
68445 JAMES STREET
MANDEVILLE, LA 70471
USA

Customer ID	Good Thru	Payment Terms	Sales Rep
COMMAND	1/10/24	Net 30 Days	

Quantity	Item	Description	Unit Price	Amount
20.00	12GSC	12" Galvanized Split Casing Asphalt Coated *****	107.19	2,143.80
20.00	12GSC	12" Galvanized Split Casing Polymer Coated *****	278.75	5,575.00
1.00	24VFG	24" X 24" Cast Iron Frame & Grate	289.75	289.75

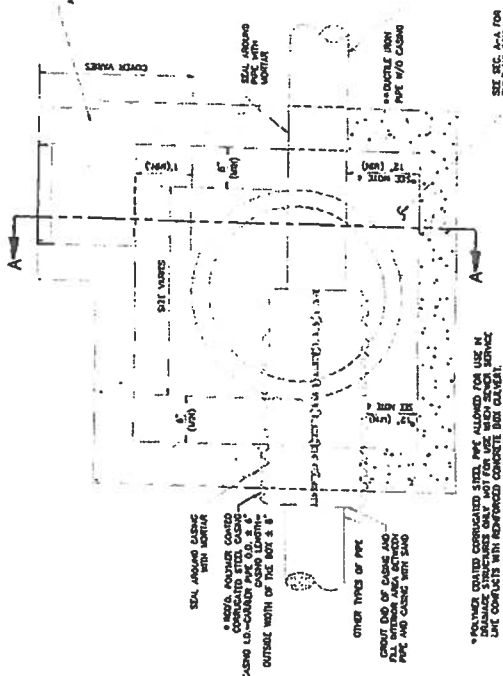
Notes: Pricing valid for 30 days from quote date unless otherwise indicated. Quotation is an estimate only and it is the responsibility of the contractor/customer/installer to verify that the materials and quantities are accurate and comply with the plans and specifications. Cmsco, inc. assumes no responsibility for additions/omissions of material or misinterpretation of plans and specifications. Freight charges apply to all material deliveries to jobsite. Local \$19, River Parish \$29, North Shore \$38

Subtotal	8,008.55
Sales Tax	736.79
Freight	
TOTAL	8,745.34



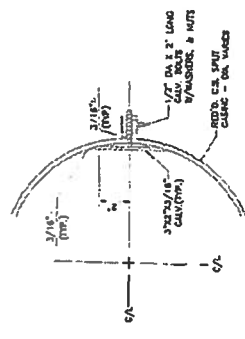
SECTION "A-A"

- CONFLICT NOTES:
1. SPLIT CASING SHALL BE PROVIDED COATED (POLY/EPDM) IN ACCORDANCE WITH AWWA D200. CLEARANCE FROM THE UNDER LIP OF THE JOINT SHALL BE MAINTAINED TO THE APPROVAL OF THE PROJECT ENGINEER.
 2. ALL WATER LINES IN CONTACT BOX SHALL BE DUCTILE IRON PIPE. OTHER PIPE MATERIAL SHALL BE INSTALLED IN SPLIT CASING.
 3. CLEARANCES SHOWN ARE NOT FOR PROTECTIVE DESIGN PURPOSES, BUT ARE MINIMUM CLEARANCES TO BE MAINTAINED FOR PROTECTIVE DESIGN PURPOSES. THE CONTRACTOR SHALL VERIFY THE CLEARANCE OF THE CASING FROM THE SURFACE OF THE CONDUIT BOX TO THE SURFACE OF THE CASING ON THE SURFACE OF THE CASING. THE CONTRACTOR SHALL VERIFY THE CLEARANCE OF THE CASING FROM THE SURFACE OF THE CASING. THE CONTRACTOR SHALL VERIFY THE CLEARANCE OF THE CASING FROM THE SURFACE OF THE CASING.
 4. THE PROTECTED METHOD OF INSTALLING SPLIT CASING IS TO HAVE THE FLANGES IN CONTACT WITH EACH OTHER AS SHOWN IN S.D. 1-1.



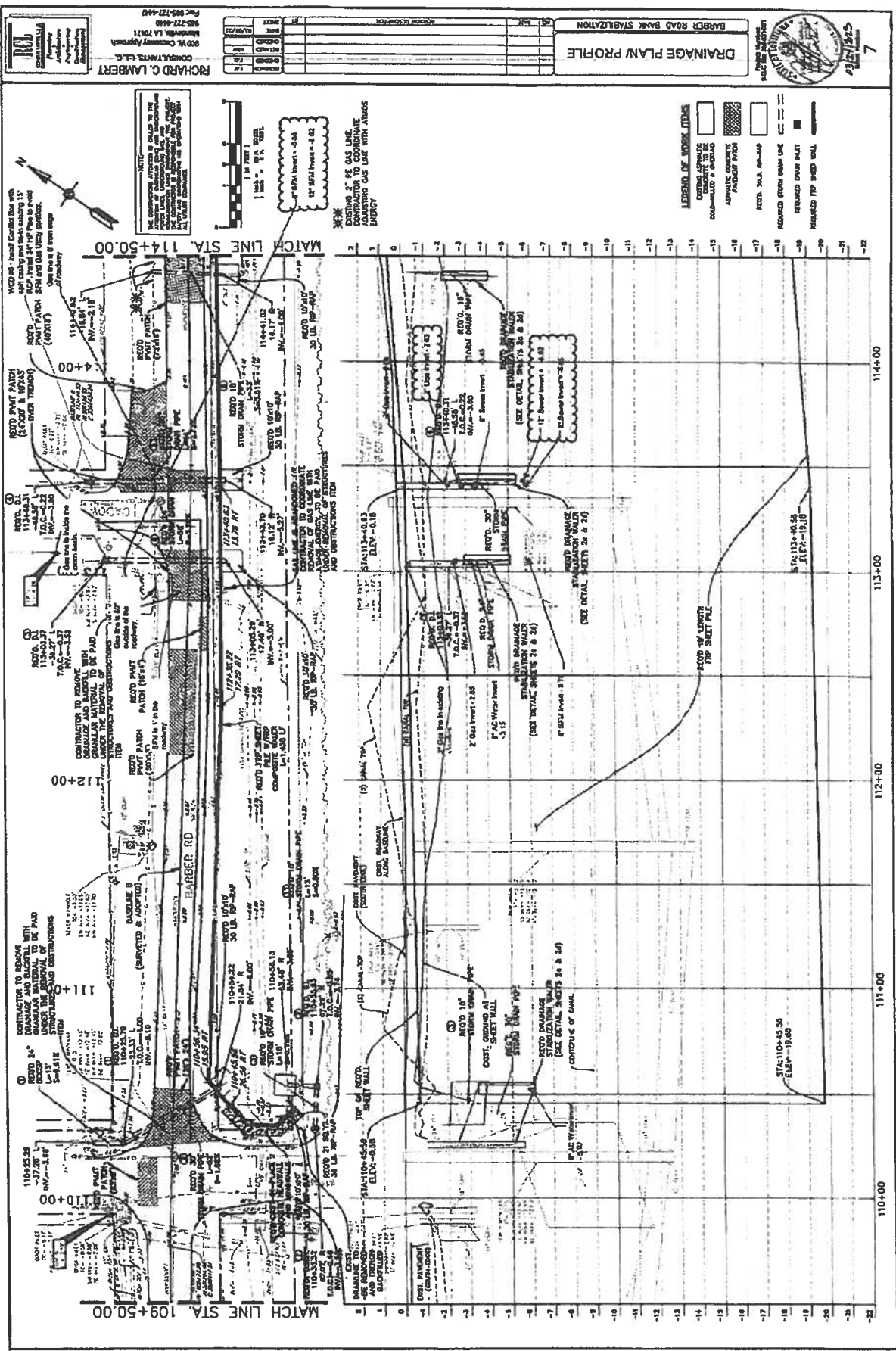
UTILITY LINE PROTECTION FOR DRAIN LINE CONFLICTS

- SCALE: N.T.S.
- CONFLICT NOTES:
1. FOUND COATED CORRUGATED STEEL PIPE ALLOWED FOR USE IN DRAINAGE STRUCTURES ONLY. NOT FOR USE WITH SPLIT SERVICE LINE CONFLICTS WITH REINFORCED CONCRETE BOX CASING.
 2. DUCTILE IRON PIPE MAY BE USED FOR SPLIT SERVICE CONFLICTS THROUGH REINFORCED CONCRETE BOX CASING CONTACTS.



SPLIT CASING DETAIL

N.T.S.

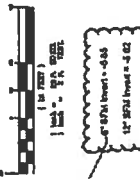


DRAINAGE PLAN PROFILE

NO.	DESC.	UNIT	QTY.
01	ASPHALT CONCRETE	1000 SQ. YD.	
02	CONCRETE	1000 SQ. YD.	
03	GRAVEL	1000 CU. YD.	
04	SUBGRADE	1000 SQ. YD.	
05	CONCRETE	1000 SQ. YD.	
06	CONCRETE	1000 SQ. YD.	
07	CONCRETE	1000 SQ. YD.	
08	CONCRETE	1000 SQ. YD.	
09	CONCRETE	1000 SQ. YD.	
10	CONCRETE	1000 SQ. YD.	

- LEGEND OF WORK ITEMS**
- ASPHALT CONCRETE
 - CONCRETE
 - GRAVEL
 - SUBGRADE
 - CONCRETE
 - CONCRETE
 - CONCRETE
 - CONCRETE
 - CONCRETE
 - CONCRETE

CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.



MATCH LINE STA. 114+50.00

MATCH LINE STA. 109+50.00



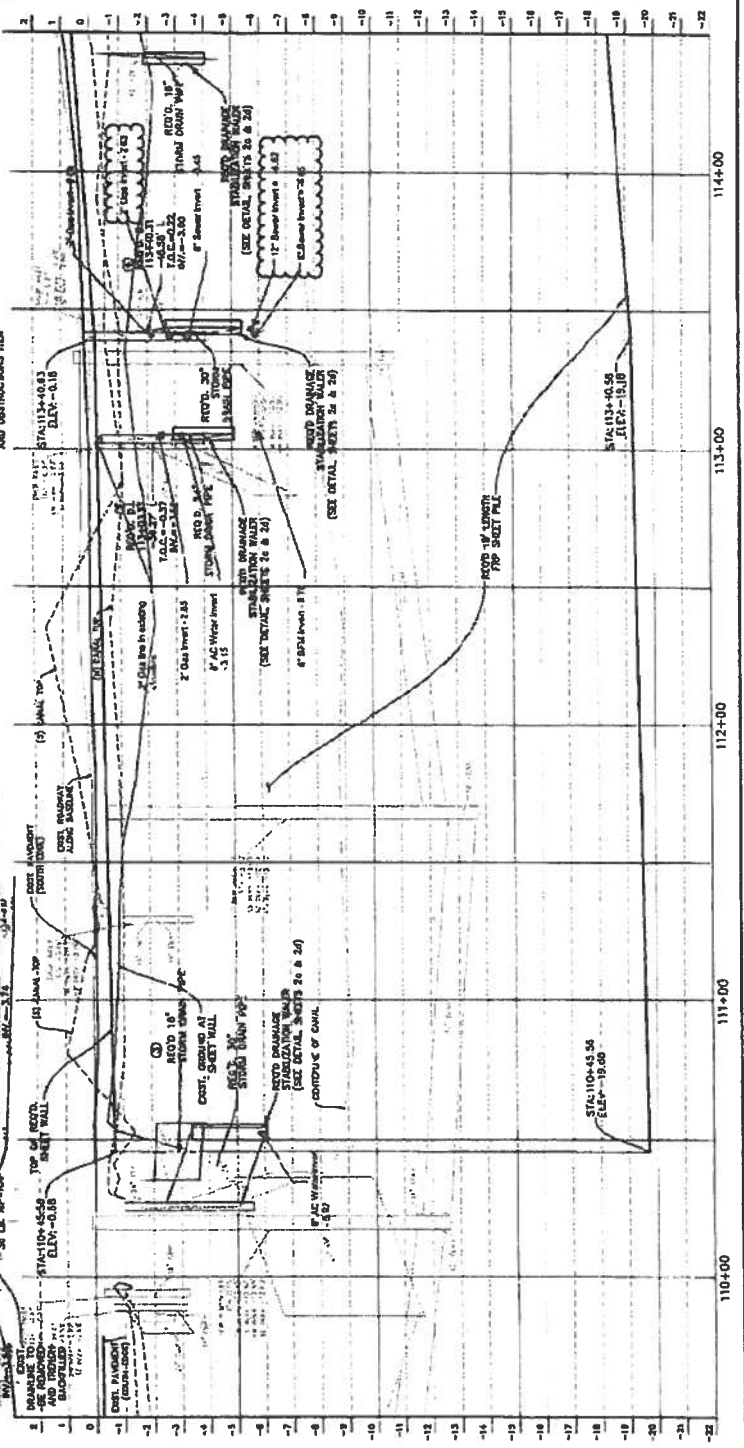
WCD 18\"/>

CONTRACTOR TO REMOVE EXISTING DRIVE AND RECONSTRUCT DRIVE TO ACCOMMODATE FOR CONSTRUCTION OF STABILIZATION STRUCTURE. SEE DETAIL SHEETS 26 & 29.

CONTRACTOR TO REMOVE EXISTING DRIVE AND RECONSTRUCT DRIVE TO ACCOMMODATE FOR CONSTRUCTION OF STABILIZATION STRUCTURE. SEE DETAIL SHEETS 26 & 29.

CONTRACTOR TO REMOVE EXISTING DRIVE AND RECONSTRUCT DRIVE TO ACCOMMODATE FOR CONSTRUCTION OF STABILIZATION STRUCTURE. SEE DETAIL SHEETS 26 & 29.

CONTRACTOR TO REMOVE EXISTING DRIVE AND RECONSTRUCT DRIVE TO ACCOMMODATE FOR CONSTRUCTION OF STABILIZATION STRUCTURE. SEE DETAIL SHEETS 26 & 29.



SECTION 00805

WORK CHANGE DIRECTIVE

No. 7

DATE OF ISSUANCE 01/10/2024 EFFECTIVE DATE 01/10/2024

Owner: St. Charles Parish

Contractor: Command Construction Industries, LLC.

Contract: _____

Project: Barber Road Bank Stabilization

Owner's Contract No.: P210702 Engineer's Contract No.: 365-021-001

ENGINEER: Richard C. Lambert Consultants, LLC

Contractor is directed to proceed promptly with the following change(s):

Description: Enter description of changes for Contractor.

Exploratory Excavation was started at station 116+50 by digging a hole that was 6' deep, 11' long, and 14' wide.

While excavating, a concrete pipe collar connecting a 36" pipe to a 24" pipe was found.

Once found, crew moved to driveway at station 121+00 to continue the exploratory excavation. The hole was

5'x7'x16'. A section of the driveway had to be removed, once removed, a box with a grate on top was found.

Attachments: (List documents supporting change) List of supporting documents.

Purpose for Work Change Directive:

Directive to proceed promptly with the Work described herein, prior to agreeing to changes on Contract Price and Contract Time, is issued due to: (check one)

- Non-agreement on pricing of proposed change.
- Necessity to proceed for schedule or other project reasons.

Estimated Change in Contract Price and Contract Times (non-binding, preliminary):

Contract Price: \$ 10,308.00 (Increase) [increase] [decrease]

Contract Time One (1) days [increase] [decrease]

Basis of estimated change in Contract Price:

- Lump Sum
- Unit Price
- Cost of the Work
- Other

Recommended:	Limited Authorization By*:	Received:
By: <u>[Signature]</u>	By: <u>[Signature]</u>	By: <u>[Signature]</u>
Engineer (Authorized Signature)	Owner's Representative*	Contractor (Authorized Signature)

Title: <u>Project Engineer</u>	Title: <u>Director Public Works</u>	Title: <u>MANAGING MEMBER</u>
Date: <u>01/16/2024</u>	Date: <u>01/30/2024</u>	Date: <u>1/16/2024</u>

*Owner's Representative is not authorized to finalize a Change Order nor does the Work Change Directive substitute the Change Order process as more fully set out in the General Conditions of the Construction Contract.

Approved by Funding Agency (if applicable)

By: _____ Date: _____
Title: _____

**SECTION 00805
WORK CHANGE DIRECTIVE**

WORK CHANGE DIRECTIVE

PROJ. NO. P210702
NAME BARBER ROAD BANK STABILIZATION

Change Order No. Six (7)

Date Initiated: January 10, 2024

Engineer's description, explanation, & estimated cost of proposed revision:

Page 1 of 1

In order to facilitate plans for local development, the Parish has opted to make changes / additions to the Project requirements that result in quantity changes to the following existing items:

Adjustment to Contract Total:

Increase NS-203-00006 - Exploratory Excavation-34.36CUYD to excavate areas at Sta. 121+00 and 116+50 to determine the existing utilities discovered during construction.

There is requested Increase In contract time of One (1) day due to the cost of the above changes.

The proceeds will necessitate the following changes in quantities (if space is not sufficient, use extra format):

ITEM NO.	ITEM	UNIT	UNIT PRICE	REVISED (WCD #1 #2,#3,#4,#5, #6 & #7)		ORIGINAL (WCD #1,#2,#3,#4,#5, & #6)		DISTING QUANTITY	AMOUNT	
				QUANTITY	AMOUNT	QUANTITY	AMOUNT			
001-01-00120	CLEARING AND GRUBBING	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00	
001-01-00130	REMOVAL OF STRUCTURES AND OBSTRUCTIONS	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00	
004-02-00100	EXCAVATION AND EMBANKMENT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00	
004-03-00100	TEMPORARY HAY OR STRAW BALES	EACH	\$ 10.00	75.0	\$750.00	75.0	\$750.00		\$0.00	
004-05-00100	TEMPORARY SILT FENCING	LIN. FT.	\$ 5.00	3,237.0	\$16,185.00	3,237.0	\$16,185.00		\$0.00	
002-01-00120	ASPHALT CONCRETE	TON	\$ 280.00	1,699.0	\$475,720.00	1,699.0	\$475,720.00		\$0.00	
006-01-00100	MIXING ASPHALT PAVEMENT (1 1/2" CR)	SQ. YD.	\$ 5.00	8,617.0	\$43,085.00	8,617.0	\$43,085.00		\$0.00	
701-01-00100	18" STORM DRAIN PIPE (CPP/DW)	LIN. FT.	\$ 150.00	149.0	\$37,250.00	149.0	\$37,250.00		\$0.00	
701-03-00100	24" STORM DRAIN PIPE (CPP/DW)	LIN. FT.	\$ 350.00	242.0	\$84,700.00	242.0	\$84,700.00		\$0.00	
701-03-00100	12" STORM DRAIN PIPE (CPP/DW)	LIN. FT.	\$ 450.00	136.0	\$61,200.00	136.0	\$61,200.00		\$0.00	
701-03-00100	48" STORM DRAIN PIPE (CPP/DW)	LIN. FT.	\$ 550.00	48.0	\$26,400.00	48.0	\$26,400.00		\$0.00	
701-03-00100	24" BECP (EXTENSION)	LIN. FT.	\$ 350.00	13.0	\$4,550.00	13.0	\$4,550.00		\$0.00	
702-02-00100	DRAIN MANHOLE	EACH	\$ 7,500.00	1.0	\$7,500.00	1.0	\$7,500.00		\$0.00	
702-03-00100	24"x24" DRAIN INLET	EACH	\$ 5,000.00	6.0	\$30,000.00	6.0	\$30,000.00		\$0.00	
702-04-00100	ADJUSTING MANHOLES	EACH	\$ 500.00	6.0	\$3,000.00	6.0	\$3,000.00		\$0.00	
702-04-00100	ADJUSTING DRAIN INLETS	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00		\$0.00	
701-01-00100	R.P RAP (30 LB, 14" THICK)	SQ. YD.	\$ 100.00	354.3	\$35,433.00	354.3	\$35,433.00		\$0.00	
713-01-00100	TEMPORARY SIGNS AND BARRICADES	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00	
721-01-00100	MOBILIZATION / DEMOBILIZATION	LUMP SUM	\$ 275,000.00	1.0	\$275,000.00	1.0	\$275,000.00		\$0.00	
731-02-00100	REFLECTORIZED RAISED PAVEMENT MARKERS	EACH	\$ 25.00	7.0	\$175.00	7.0	\$175.00		\$0.00	
739-01-00100	HYDRO-SEEDING	ACRE	\$ 3,500.00	2.2	\$7,553.00	2.2	\$7,553.00		\$0.00	
740-01-00100	CONSTRUCTION LAYOUT	LUMP SUM	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00	
741-01-00100	ADJUST WATER VALVE	EACH	\$ 500.00	4.0	\$2,000.00	4.0	\$2,000.00		\$0.00	
741-02-00100	BLEAST-ON VALVE (8")	EACH	\$ 15,000.00	1.0	\$15,000.00	1.0	\$15,000.00		\$0.00	
75-760-00100	8" WATER LINE OFFSET	EACH	\$ 10,000.00	3.0	\$30,000.00	3.0	\$30,000.00		\$0.00	
801-01-00100	EXPLORATORY EXCAVATION	CU. YD.	\$ 300.00	74.4	\$22,308.00	40.0	\$12,000.00	34.36	\$10,308.00	
8-023	FIBER REINFORCED POLYMER (FRP) SHEET PILE	SQ. FT.	\$ 35.00	27,702.0	\$969,570.00	27,702.0	\$969,570.00		\$0.00	
8-008	PRE-CONSTRUCTION VIDEO	LUMP SUM	\$ 25,000.00	1.0	\$25,000.00	1.0	\$25,000.00		\$0.00	
8-003	STEEL SHEET PILE PENETRATION	LUMP SUM	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00		\$0.00	
9-001	DRAINAGE STABILIZATION WALLS	EACH	\$ 1,000.00	12.0	\$12,000.00	12.0	\$12,000.00		\$0.00	
9-005	FRP COMPOSITE WALL	LIN. FT.	\$ 125.00	1,458.0	\$182,250.00	1,458.0	\$182,250.00		\$0.00	
9-006	EXCAVATION AND REPLACEMENT OF UNSUITABLE MATERIAL	CU. YD.	\$ 10.00	1,523.0	\$15,230.00	1,523.0	\$15,230.00		\$0.00	
9-007	REBUILD SANITARY SEWER CONFLICT BOX	EACH	\$ 5,000.00	1.0	\$5,000.00	1.0	\$5,000.00		\$0.00	
9-008	RELOCATION OF INFRASTRUCTURE	LUMP	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00	
9-009	WATER LINE CROSSING (8" DUCTILE IRON)	LUMP	\$ 50,000.00	1.0	\$50,000.00	1.0	\$50,000.00		\$0.00	
9-010	PAVEMENT PATCHING	SQ. YD.	\$ 75.00	2,307.0	\$173,025.00	2,307.0	\$173,025.00		\$0.00	
9-011	HEADWALL WITH SLOTTED WALLS	EACH	\$ 30,000.00	1.0	\$30,000.00	1.0	\$30,000.00		\$0.00	
9-020-010	FIBER REINFORCED POLYMER (FRP) SHEET PILE - 11Y FILTER STORED	SQ. FT.	\$ 1.23	27,702.0	\$34,073.46	27,702.0	\$34,073.46		\$0.00	
9-020-020	FIBER REINFORCED POLYMER (FRP) SHEET PILE - SHEET PILE STORED	SQ. FT.	\$ 18.75	27,702.0	\$519,412.50	27,702.0	\$519,412.50		\$0.00	
9-020-030	REMOVE AND REPLACE EXISTING CONCRETE DRIVLS	SQ. YD.	\$ 116.24	54.0	\$6,276.96	54.0	\$6,276.96		\$0.00	
008-001	DRAIN MANHOLE FRAME AND COVER	EACH	\$ 0.00	0.0	\$0.00	0.0	\$0.00		\$0.00	
008-001	CONFLICT BOX	EACH	\$ 10,724.53	1.0	\$10,724.53	1.0	\$10,724.53		\$0.00	
					Stored Material		\$553,485.96			
Additional contract days requested: <u>One (1)</u>			Amount of over run and under run	\$10,308.00	TOTAL	\$2,963,885.49	TOTAL	\$2,953,577.49	Total	\$10,308.00

RESIDENT INSPECTOR'S DAILY PHOTO LOG

Date: 12/12/2023

Project Number:

P210702

Project Name: Barber Road Bank Stabilization

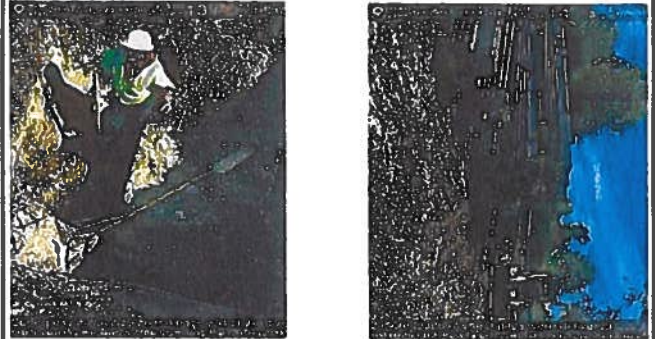
Project Engineer: Arthur Ledet, Richard C. Lambert Consultants, L.L.C.

PHOTO NO. 1 & 2



Exploratory Excavation @ Sta. 116+50. Existing pipe collar discovered

PHOTO NO. 3 & 4



Exploratory Excavation @ Sta. 116+50. FRP Sheet piles delivered.

PHOTO NO. 5



Exploratory Excavation @ Sta. 121+00

PHOTO NO. 6



Exploratory Excavation @ Sta. 121+00. 450 Barber Rd.

PHOTO NO. 7

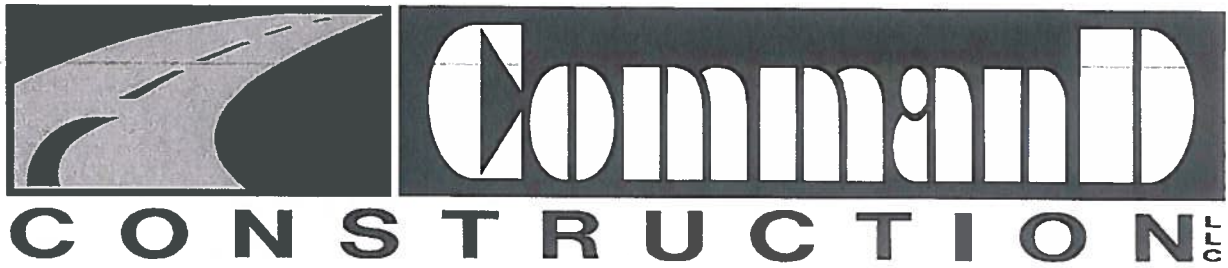


Exploratory Excavation @ Sta. 121+00. Existing D.I. discovered

PHOTO NO. 8



Exploratory Excavation @ Sta. 121+00. Existing DL looking from outfall at the Canal side.



January 5, 2024

RCL Consultants
Mandeville, LA
Attn: Arthur Ledet

Re: Barber Road Stabilization Project
COR Brick up box at STA 116+50
CO-7

Dear Mr. Ledet,

Command Construction is submitting this COR to cover all additional costs for all labor, equipment, and materials used to complete the work to brick up the box 6" below existing ground to allow flow into the catch basin at STA 116+50.

Please create a change order to cover \$ 3,667.20 Lump Sum and add 1 calendar day to the project.

See attached.

Regards,

Scott Kuepferle- VP/ Construction Services
Command Construction, LLC
68445 James Street
Mandeville, LA 70471

Cc: Derek Commander – Managing Member
Christian Commander- Operations Manager
Bradley Cieslinski- Asst Project Manager
Project Files

68445 James Street
Mandeville, LA 70471
(504) 887-8795 Phone (504) 887-8906 Fax



Barber Road Bank Stabilization

BRICK UP BOX @ STA 116+50

LABOR				
	NUMBER	HOURS	RATE	EXTENSION
FINISHER/BRICK LAYER	3	8	\$ 24.00	\$ 720.00
SUBTOTAL				\$ 720.00
EQUIPMENT				
	NUMBER	HOURS/ DAY	RATE	EXTENSION
420 RT BACKHOE	1	4	\$ 75.48	\$ 301.92
SUBTOTAL				\$ 301.92
MATERIALS				
	NUMBERS	UNIT	UNIT PRICE	EXTENSION
Brick w/ freight	1.005	Cube	\$ 1,250.00	\$ 1,256.25
Grout	10	Bag	\$ 17.65	\$ 176.50
Sand	20	Bag	\$ 7.50	\$ 150.00
TAX	9.20%			\$ 145.61
SUBTOTAL				\$ 1,728.36
SUBCONTRACTOR				
	NUMBERS	UNIT	UNIT PRICE	EXTENSION
SUBTOTAL				\$ -
DIRECT LABOR				\$ 720.00
BURDEN (57.53%)				\$ 414.22
DIRECT LABOR MARKUP (15%)				\$ 170.13
MATERIALS				\$ 1,728.36
MATERIALS (15%)				\$ 259.25
SUBCONTRACTOR				\$ -
SUBCONTRACTOR (10%)				\$ -
EQUIPMENT				\$ 301.92
EQUIPMENT (10%)				\$ 30.19
BOND (1.2%)				\$ 43.13
				\$ 3,667.20



Brick & Block Products, LLC

ESTIMATE

P.O. Box 8707
 Mandeville, LA 70470-8707
 Jefferson 504-734-0234 Fax -734-0454
 Mandeville 985-892-7567 Fax -892-7577

Date	Ticket #
12/20/2023	41009

www.brickandblockproductsllc.com

Name / Address	Ship To
CASH Command Construction 985-778-3484 Brad	Brad Command Constr 985-778-3484

P.O. No.	Due Date	Rep	Project	Warehouse
	12/20/2023	DM		

Item	Description	Qty	Cost	Total
BackUpClosure	Back Up Closure (3 Cu @ 335 per cube) = 1,005 Closure Brick	1.005	1,050.00	1,055.25T
TypeNHolcim	Holcim Type N (45 bags per pallet)	10	17.65	176.50T
PKM	PakMix Commercial Fine Sand 100	20	7.50	150.00T
Delivery	Delivery Fee	1	200.00	200.00

Thank You for your business	Subtotal	\$1,581.75
Please note estimates are a courtesy to our customers and that all estimates are subject to verification by field measurement.	Sales Tax (9.2%)	\$127.12
	Total	\$1,708.87

Signature _____



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0066 **Version:** 1 **Name:** C.O. No. 1 for AHU-5 HVAC System Replacement (Project No. GB-AC-0220), to decrease the contract amount by \$3,034.00

Type: Ordinance **Status:** Public Hearing

File created: 2/5/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: An ordinance approving and authorizing the execution of Change Order No. 1 for AHU-5 HVAC System Replacement (Project No. GB-AC-0220), to decrease the contract amount by \$3,034.00.

Sponsors: Matthew Jewell, General Government Buildings

Indexes:

Code sections:

Attachments: [Change Order No. 1 for AHU-5 HVAC System Replacement, \(Project No. GB-AC-2020\)](#)

Date	Ver.	Action By	Action	Result
2/5/2024	1	Parish Council		
2/5/2024	1	Parish President	Introduced	

SECTION 00806

CHANGE ORDER

No. 01

DATE OF ISSUANCE: 10-03-2022

EFFECTIVE DATE: 10-03-2022

OWNER: St. Charles Parish Courthouse
CONTRACTOR: ARC Mechanical
Contract: AHU-5 HVAC System Replacement
Project #: GB-AC-0220
OWNER's Contract No. GB-AC-0220
ENGINEER's Contract No. 2020-0050
ENGINEER: Huseman & Associates, LLC

You are directed to make the following changes in the Contract Documents:

Description:

1. Deduct for the Following Work Items:

a. Work Change Directive No. 1

- i. Contract Item #1: Roofing scope of work for installation of roof top equipment and *roof curbs*.
Deduct applied for this scope of work. *(-\$ 19,739.00)*
- ii. Contract Item #2: Fire-smoke dampers in corridors.
Deduct applied for this scope of work. *(-\$ 1,400.00)*

Net Total Deduct for WCD No. 1 Work Items = *(-\$ 21,139.00)*

2. Add for the Following Work Items:

a. Work Change Directive No. 1

- i. New Contract Item #3: Replace existing domestic water PEX pipe located in the plenum. There is approx. 100' of existing PEX piping that is not rated for use in plenum applications. Install new PEX pipe in compliance with ASTM E84 for smoke flame rating for plenum applications.
Addition of *\$ 3,807.00 (L.S.)*. See attached cost estimate for details.
- ii. New Contract Item #4: Relocation of doors and demolition work in the new office spaces. Relocation of existing door openings required additional architectural scope of work to close the openings, finish, and paint.
Addition of *\$ 9,099.00 (L.S.)*. See attached cost estimate for details.
- iii. New Contract Item #5: Demolition of existing walls from former refrigerator room and installation of new walls to finish existing office space and storage areas.
Addition of *\$ 1,636.00 (L.S.)*. See attached cost estimate for details.
- iv. New Contract Item #6: Demolition of old telephone conduit.
Addition of *\$ 1,825.00 (L.S.)*. See attached cost estimate for details.
- v. New Contract Item #7: Add ductless split system for IT Room fully redundant emergency backup.
Addition of *\$ 22,474.00 (L.S.)*. See attached cost estimate for details.
- vi. New Contract Item #8: Asbestos abatement of existing IT Room floor.
Addition of *\$ 4,831.00 (L.S.)*. See attached cost estimate for details.

- vii. New Contract Item #9: IT Room floor modifications. The concrete beam at the IT room needed to be chipped down far enough to install floor patch to receive new flooring. The exiting ceramic tile had to be removed as well.
Addition of \$ **13,060.00 (L.S.)**. See attached cost estimate for details.
- viii. New Contract Item #10: Encapsulate floors at LVT. Install floor patch on top of existing flooring that would allow new LVT to be installed.
Addition of \$ **14,250.00 (L.S.)**. See attached cost estimate for details.
- ix. New Contract Item #11: Furr out existing CMU walls at new offices.
Addition of \$ **1,649.00 (L.S.)**. See attached cost estimate for details.
- x. New Contract Item #12: Painting of existing walls, doors, and door frames due to damages sustained from Hurricane Ida.
Addition of \$ **36,821.00 (L.S.)**. See attached cost estimate for details.
- xi. New Contract Item #13: Provide additional power outlets and data drops in new offices.
Addition of \$ **5,962.00 (L.S.)**. See attached cost estimate for details.
- xii. New Contract Item #14: **Request for Construction Time Extension**. The quantity of construction calendar days is to be changed from 180 to 440. Date for Substantial Completion to be revised from December 12, 2021, to September 6, 2022.
Addition of \$ **0.00 (L.S.)**. See attached letter from Contractor for details.
- xiii. New Contract Item #15: Provide additional twist-lock outlets in IT Room and modifications to break room power wiring for microwave and cook top range.
Addition of \$ **2,691.00 (L.S.)**. See attached cost estimate for details.

Net Total Add for Work Change Directive No. 1 Items = (+\$ 118,105.00)

Change Order No.1 Summary:

Relocation of Infrastructure\$100,000.00 within the original contract amount.
WCD No. 1 Deduct.....(-\$ 21,139.00)
WCD No. 1 Add.....+\$ 118,105.00

Total Deduct for Change Order No. 1.....\$3,034.00

Reason for Change Order: List a reason for each Line Item listed above.

- 1. Deleted Work Items
 - a. Work Change Order Directive No. 1
 - i. Existing roof had to be completely replaced due to damage sustained from Hurricane Ida. Contractor issued a credit for scope that involved roofing work to install new roof top HVAC equipment.
 - ii. Contractor issued a credit for electrical and fire alarm scope of work that involved installation of fire-smoke dampers in the corridor areas. Several fire-smoke dampers were removed from the scope of work due to the installation of fire rated ceilings in the corridor areas.
- 2. Added Work Items
 - a. Work Change Order Directive No. 1
 - i. There was approx. 100' of existing PEX piping that was not rated for use in return air plenum applications. New PEX pipe, in compliance with ASTM E84 for smoke flame rating for plenum applications, was installed.

- vi. Asbestos abatement of existing IT room floor. IT room floor tiles tested positive for asbestos.
- vii. The existing IT Room floor was raised from the rest of the adjacent floors. During construction, concrete beams were discovered under the raised IT room floor panels. The existing concrete pads had to be demolished to level and finish the floors to match the adjacent areas. The concrete beam at the IT room needed to be chipped down far enough to install floor patch to receive new flooring. The existing ceramic tile had to be removed as well.
- viii. During construction, it was discovered that the existing floor tiles under the carpet contained tested positive for asbestos. Asbestos encapsulation product was installed on top of existing flooring to allow for new LVT to be installed.
- ix. Decision was made to fur out existing CMU walls at new offices.
- x. Existing walls, doors and door frames had to be painted due to damages sustained from Hurricane Ida.
- xi. Sheriff Office requested additional power outlets and data drops in new offices.
- xii. Requested construction time extension due to Hurricane Ida, as well as labor shortages and construction material delivery delays due to the COVID-19 pandemic.
- xiii. Sheriff Office requested additional twist-lock power outlets and data drops in IT Room.
- xiv. Unforeseen existing condition found during construction. Power wiring to Break Room microwave oven and cook top range found to be non-compliant with code.

Attachments: (List documents supporting change)


Work Change Order Directive No. 1
Letter from ARC Mechanical Contractors for Time Extension.

**SCP PROJECT #GB-AC-0220
AHU-5 HVAC SYSTEM REPLACEMENT**

CHANGE IN CONTRACT PRICE:
Original Contract Price \$824,000.00
Net Increase (Decrease) from previous Change Orders No. <u>1</u> to <u>1</u> : \$0.00
Contract Price prior to this Change Order: \$824,000.00
Net increase (decrease) of this Change Order: \$3,034.00
Contract Price with all approved Change Orders: \$820,966.00

CHANGE IN CONTRACT TIMES:
Original Contract Times: Substantial Completion: 180 days (Dec. 12, 2021) Ready for final payment: 45 days (Jan. 27, 2022) (days or dates)
Net change from previous Change Orders No. 1 to No. 1: Substantial Completion: N/A Ready for final payment: N/A (days)
Contract Times prior to this Change Order: Substantial Completion: 180 days (Dec. 12, 2021) Ready for final payment: 45 days (Jan. 27, 2022) (days or dates)
Net increase this Change Order: Substantial Completion: 260 days (September 6, 2022) Ready for final payment: 45 days (October 21, 2022) (days or dates)
Contract Times with all approved Change Orders: Substantial Completion: September 6, 2022 Ready for final payment: October 21, 2022 (dates)

RECOMMENDED:

By: 
ENGINEER (Authorized Signature)


Date: 10-03-22

APPROVED:

By: _____
OWNER (Authorized Signature)

Date: _____

ACCEPTED:

By: 
CONTRACTOR (Authorized Signature)

Date: 10-10-2022



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0069 **Version:** 1 **Name:** Amendment No. 2 to Ord. No. 23-5-2 which approved the Prof. Serv. Agree. w/ Alpha Testing and Inspection, Inc. for additional testing serv. for the Hydraulic Bottleneck Near Destrehan P.S. No. 2 (Proj. No. P190507)

Type: Ordinance **Status:** Public Hearing

File created: 2/5/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: An ordinance approving and authorizing the execution of Amendment No. 2 to Ordinance No. 23-5-2 which approved the Professional Services Agreement with Alpha Testing and Inspection, Inc. for additional testing services for the Hydraulic Bottleneck Near Destrehan P.S. No. 2 (Project No. P190507), in the not to exceed amount of \$25,000.00, bringing the overall agreement amount to \$70,000.00.

Sponsors: Matthew Jewell, Department of Public Works

Indexes:

Code sections:

Attachments: [2024-0069 Amendment Template - Legal](#)
[2024-0069 Attachment C-1](#)
[2024-0069 Resolution](#)

Date	Ver.	Action By	Action	Result
2/5/2024	1	Parish Council		
2/5/2024	1	Parish President	Introduced	

**AMENDMENT NO. 2
TO
PROFESSIONAL SERVICES AGREEMENT
FOR HYDRAULIC BOTTLENECK NEAR
DESTREHAN P.S. NO. 2**

THIS AMENDMENT NO. 2 is made and entered into on this ____ day of _____, 2024;

BY AND BETWEEN:

ST. CHARLES PARISH, represented herein by its duly authorized Parish President, Matthew Jewell, (hereafter sometimes referred to as “OWNER”), and

ALPHA TESTING AND INSPECTION, INC., represented herein by Michael A. Devillier, duly authorized by Corporate Resolution attached hereto (hereafter sometimes referred to as “CONSULTANT”):

WHEREAS, On July 1, 2019, the St. Charles Parish Council adopted Ordinance No. 19-7-1 to authorize an Agreement between St. Charles Parish and Evans-Graves Engineers, Inc., to perform engineering services for the Hydraulic Bottleneck Near Destrehan P.S. No. 2 (Project No. P190507), in the not to exceed amount of \$105,160.00; and,

WHEREAS, On December 5, 2022, the St. Charles Parish Council adopted Ordinance No. 22-12-7 to authorize a Contract between St. Charles Parish and Cycle Construction Company, LLC, for construction services for the Hydraulic Bottleneck Near Destrehan P.S. No. 2 (Project No. P190507), in the amount of \$2,264,960.00; and,

WHEREAS, On May 8, 2023, the St. Charles Parish Council adopted Ordinance No. 23-5-2 to authorize an Agreement between St. Charles Parish and Alpha Testing and Inspection, Inc., for testing services for Hydraulic Bottleneck Near Destrehan P.S. No. 2 (Project No. P190507), in the not to exceed amount of \$26,000.00; and,

WHEREAS, On November 20, 2023, the St. Charles Parish Council adopted Ordinance No. 23-11-12 to authorize Amendment No. 1 to an Agreement between St. Charles Parish and Alpha Testing and Inspection, Inc., for continued testing services for Hydraulic Bottleneck Near Destrehan P.S. No. 2 (Project No. P190507), in the not to exceed amount of \$19,000.00, bringing the total contract value to \$45,000.00; and,

WHEREAS, the construction project is not yet complete, and therefore testing services must be extended to ensure vibrations on the project site are monitored daily throughout construction activities until substantial completion has been attained; and,

WHEREAS, St. Charles Parish and Alpha Testing and Inspection, Inc. have mutually agreed upon a not to exceed fee of \$25,000.00 to complete the work, bringing the total contract value to \$70,000.00.

ATTACHMENT "C" PROJECT COMPENSATION

Delete entire Attachment "C" and replace with the attached.

THUS DONE AND SIGNED in the presence of the undersigned competent witnesses, on this _____ day of _____, 2024.

Witnesses:

ST. CHARLES PARISH

By: _____

Matthew Jewell
Parish President

Date: _____

**ALPHA TESTING AND INSPECTION,
INC.**

By: _____

Michael A. Devillier
President

Date: _____

**ATTACHMENT “C” – AMENDMENT NO.2
PROJECT COMPENSATION**

HYDRAULIC BOTTLENECK NEAR DESTREHAN P.S. NO. 2
Project No. (P190507)

OWNER shall pay CONSULTANT on a Not to Exceed basis for Basic Services set forth in Attachment A as follows:

- a. The total compensation for vibration monitoring and soil testing services as described in Attachment A is estimated to be \$70,000.00.
- b. The amounts billed for CONSULTANT’s services under this Agreement will be based on the cumulative hours charged to the Project during the billing period by each class of CONSULTANT’s employees times Standard Hourly Rates for each applicable billing class.
- c. The Standard Hourly Rates charged by CONSULTANT constitute full and complete compensation for CONSULTANT’s services, including labor costs, overhead, and profit.
- d. CONSULTANT’s Standard Hourly Rates are attached to this Agreement as Revised Attachment C-1.

ALPHA TESTING AND INSPECTION, INC.



338 HIGHWAY 3160, HAHNVILLE, LOUISIANA 70057 TEL: 985-783-0771 FAX: 985-783-0774

March 1, 2023
Revised January 25, 2024

St. Charles Parish
Department of Public Works
100 River Oaks Drive
Destrehan, LA 70047
Attn: Ms. Andre R. Ford, P.E.

Re: Hydraulic Bottleneck
Near Destrehan P.S No.2
St. Charles Parish, LA

Dear Gentlemen:

We submit, herewith, our schedule of fees covering testing laboratory services on the above referenced project.

1. Vibration Monitoring:

- a.) Services of Technician and Equipment (one monitor)
To perform vibration monitoring during sheet pile driving, Rate/Hour \$ 50.00
- b.) Transportation charge, Rate/Trip \$ 50.00

2. Soil Testing – Laboratory:

- a.) Liquid Limit, Plastic Limits & Plasticity Index, Each \$ 75.00
- b.) Moisture Density Relationship Test (Proctor), Each \$ 150.00

3. Soil Testing – Field:

- a.) Services of Technician to visit project site and make field
Density tests – Nuclear Method 12” Maximum Depth,
Rate/Each \$ 50.00
- b.) In place density tests (Nuclear Method), Each \$ 15.00
- c.) Transportation charge, Rate/Trip \$ 50.00

St. Charles Parish
Department of Public Works
Attn: Ms. Andre R. Ford, P.E

4. Sampling Charge:

- | | |
|--|----------|
| a.) Services of Technician to sample materials for laboratory Testing, Rate/Hour | \$ 50.00 |
| b.) Transportation charge, Rate/Trip | \$ 50.00 |

Estimated Job Cost \$70,000.00

NOTE: Travel time is portal to portal. There is a ½ day minimum charge for any call out for inspection. Overtime hours are charged at 1 ½ times regular rate for all hours worked in excess of 8 hours per day, Mondays through Fridays, and for all hours worked on Saturdays, Sundays and holidays.

We thank you for the opportunity of quoting you for these services. Your selection of Alpha Testing and Inspection, Inc. to perform these services will be appreciated.

Yours very truly,

ALPHA TESTING & INSPECTION, INC.



Michael A. Devillier
President

ALPHA TESTING AND INSPECTION, INC.



338 HIGHWAY 3160, HAHNVILLE, LOUISIANA 70057 TEL: 985-783-0771 FAX: 985-783-0774

CERTIFICATE OF CORPORATE RESOLUTION AUTHORIZING ENTERPRISE PROJECT APPLICATION

I, Michael A. Devillier, President of Alpha Testing and Inspection, Inc., organized and existing under the laws of Louisiana and having its principal place of business at 338 Highway 3160 Hahnville, LA 70057, hereby certify that the following is a true copy of a resolution adopted by the Board of Directors of the Corporation at a meeting convened and held on January 1, 2023 at which a quorum was present and voting throughout and that such resolution is now in full force and effect and is in accordance with the provisions of the charter and by-laws of the Corporation.

RESOLVED: That the President or Vice President of the Corporation is hereby authorized to sign on behalf of the Corporation any contracts or forms for the Enterprise Project Application;

RESOLVED FURTHER: That the President or Vice President are hereby authorized and directed to certify to any interested party that this resolution has been duly adopted, is in full force and effect, and is in accordance with the provisions of the charter and by-laws of the Corporation.

I further certify that this Corporation is duly organized and existing, and has the power to take the action called for by the foregoing resolution.

DIRECTORS

<u>Michael A. Devillier</u>	<u>4/4/23</u>
President	Date
<u>Brad Oill</u>	<u>4/4/23</u>
Vice President	Date



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0070 **Version:** 1 **Name:** Professional Services Agreement with Triton Controls & Engineering, Inc., to perform engineering services for the Wastewater PLC Upgrade project (Project No. S240101)

Type: Ordinance **Status:** Public Hearing

File created: 2/5/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: An ordinance approving and authorizing the execution of a Professional Services Agreement with Triton Controls & Engineering, Inc., to perform engineering services for the Wastewater PLC Upgrade (Project No. S240101), in the amount not to exceed \$156,778.00.

Sponsors: Matthew Jewell, Department of Wastewater

Indexes:

Code sections:

Attachments: [2024-0070 2023 11 09 Professional Services Agreement + Attachments \(PW Edit 11.15.23\)](#)
[2024-0070 2024 Rate Sheet - St. Charles Parish \(Attachment C-1\)](#)
[2024-0070 STC Triton Signature](#)

Date	Ver.	Action By	Action	Result
2/5/2024	1	Parish Council		
2/5/2024	1	Parish President	Introduced	

PROFESSIONAL SERVICES AGREEMENT

THIS AGREEMENT made and effective as of the ____ day of _____, 2024 by and between ST. CHARLES PARISH acting herein by and through its President, who is duly authorized to act on behalf of said Parish, hereinafter called the OWNER, and TRITON CONTROLS & ENGINEERING, INC., a corporation acting herein by and through its Contracting Officer, hereinafter called CONSULTANT. Whereas the Owner desires to employ a professional consulting firm to perform consulting work and services for WASTEWATER PLC UPGRADE Project No. S240101 as described in Ordinance No. _____ which is attached hereto and made a part hereof.

1.0 GENERAL TERMS

The Owner agrees to employ the Consultant and the Consultant agrees to perform professional services required for the project described above. Consultant will conform to the requirements of the Owner and to the standards of the agencies participating with the Owner in the Project. The Consultant will coordinate all work between the Owner and all participating agencies and regulating agencies, if needed. Written authorization to begin different phases of the project will be given to the Consultant by the Owner, including Conceptual, Preliminary Design, Final Design, Bidding Assistance and Construction and Services. The Owner may terminate the Contract by written notification and without cause per Section 11.0 during any phase of the project.

The Consultant shall at all times during this Agreement maintain a valid Louisiana Consulting License and any other applicable licenses necessary for performance of the Project.

All work shall be under the direction of the Owner, and all plans, specifications, etc. shall be submitted to the Owner and all approvals and administration of this contract shall be through the Owner.

2.0 PROJECT

2.1 The Owner hereby contracts with the CONSULTANT to perform all necessary professional services in connection with the project as defined as follows:

WASTEWATER PLC UPGRADE
Project No. S240101

2.2 The Project consists of the scope of services and work as defined in Attachment "A" hereto.

- 2.3 Consultant shall perform all scope of services and work in accordance with the Schedule as defined in Attachment “B” hereto unless otherwise mutually agreed upon by the parties in writing.
- 2.4 The Consultant agrees to comply with all Federal, State, and Local Laws and Ordinances applicable to the scope of services and work or in entering any other agreement with any another party to complete the work.

3.0 SERVICES OF CONSULTANT

- 3.1 Consultant shall provide Owner professional work and services in all phases of the Project to which this Agreement applies and as hereinafter provided to properly plan and execute the work on the project(s) assigned to the Consultant. These services may include but may not be limited to serving as Owner’s professional consulting representative for the Project, providing professional consultation and advice, and furnishing customary civil, surveying, geotechnical, structural, mechanical, electrical, instrumentation and control consulting services and construction consulting and inspection.
- 3.2 Services provided by the Consultant shall be performed in accordance with generally accepted professional consulting practice at the time and the place where the services are rendered.
- 3.3 Consultant shall obtain from Owner authorization to proceed in writing for each phase of the Project.
- 3.4 Consultant shall provide minutes of all meetings with St. Charles Parish regarding any phase of the Project.
- 3.5 Consultant shall provide work and services to complete the project, including all necessary services described herein or usually implied as a prerequisite for the performance of the services whether or not specifically mentioned in this agreement, including attendance by the Consultant at project conferences and public hearings.
- 3.6 The Phases of the Project, if applicable, are as defined in Attachment “A”.

4.0 OWNERSHIP OF DOCUMENTS

- 4.1 Documents including but not limited to plans, specifications, maps, basic survey notes, sketches, charts, computations and all other data prepared or obtained under the terms of this authorization shall become the property of the Owner and shall be made available for Owner’s inspection at any time during the Project and, shall be delivered to the Owner prior to termination or final completion of the Contract.
- 4.2 Consultant may retain a set of documents for its files.

- 4.3 Reuse of Documents. Any reuse of documents or materials without written authorization or adaptation by Consultant to the specific purpose intended will be at Owner's sole risk and without liability or legal exposure to Consultant or to Consultant's independent professional associates, subcontractors, and consultants.
- 4.4 No materials, to include but not limited to reports, maps or other documents produced as a result of this Contract, in whole or in part, shall be available to Consultant for copyright purposes. Any such materials produced as a result of this Contract that might be subject to copyright shall be the property of the Owner and all such rights shall belong to the Owner, and the Owner shall be sole and exclusive entity who may exercise such rights.

5.0 SUPPLEMENTARY SERVICES

The Consultant shall provide, when requested in writing by the Owner, supplementary services not included in the basic work and services.

The compensation to the Consultant for the supplemental services, when performed by the Consultant, shall be in the form of a lump sum, billable hours, or "not to exceed" hourly rate which is mutually agreeable to the Owner and the Consultant in writing.

Such supplementary services may include the following:

- A. Soil investigations
- B. Laboratory inspection of materials and equipment
- C. Right-of-Way, easement and property acquisition surveys, plats, maps and documents
- D. Any major revisions for which the Consultant is not responsible, that are authorized by the Owner after the completion and approval of either the preliminary or final plans and specifications
- E. Services concerning replacement of any work damaged by fire or other causes during construction
- F. Services made necessary by the default of the contractor in the performance of the construction contract
- G. Services as an expert witness in connection with court proceedings
- H. Traffic consulting if necessary
- I. Topographic Survey
- J. Preparation of Environmental Assessment documents and/or Environmental Permits
- K. If all or part of the work is to be financed by a Federal or State Grant, the Consultant shall assist the Owner in the preparation of the Grant application and with the Grant Administration, unless otherwise specifically agreed upon previously herein.

6.0 DEFECTIVE WORK

During such visits and on the basis of such observations, Consultant may disapprove of or reject Contractor's work while it is in progress if Consultant believes that such work will

not produce a completed Project that conforms generally to the Contract Documents or that it will prejudice the integrity of the design concept of the Project as reflected in the Contract Documents

7.0 NOTICE TO PROCEED

The Owner shall notify the Consultant in writing to undertake the services stated in this Agreement, and the Consultant shall commence the services within ten (10) days after receipt of such notification.

If the Owner desires to divide the Project into various parts, a Notice to Proceed shall be issued for each part, and the Owner and the Consultant shall mutually agree upon the period of time within which services for each part of the Project shall be performed.

The Consultant will be given time extensions for delays beyond their control or for those caused by tardy approvals of work in progress by various official agencies, but no additional compensation shall be allowed for such delays.

8.0 PAYMENTS

8.1 Owner shall pay Consultant for the performance of work and services as outlined in Attachment "C" to this Agreement.

8.2 Payment for Consultant work and services on projects that do not require construction services, such as feasibility studies or drainage studies, shall be made based upon Consultant's estimate of the proportion of the services actually completed at the time of billing and shall be made in partial payments at monthly intervals.

8.3 If the Project, or any portion thereof, is not completed for any reason, the final fee for consulting work and services shall be negotiated between Owner and Contractor. If the final fee for work and services is not mutually agreed upon, either party may elect in writing to submit the dispute to mediation. If mediation is not mutually agreed upon, written notice will be submitted to the other party of the intent to submit the dispute to the 29th Judicial District Court of St. Charles Parish, State of Louisiana.

8.4 If authorized in writing by Owner, for the performance of, or for obtaining from others Additional Services which are not considered normal or customary consulting, the Owner shall pay Consultant based on monthly invoices submitted by the Consultant, within sixty (60) days of receipt of Consultant's invoice. Consultant shall provide written notice to Owner when no services or work have been performed during a given month.

8.5 For Additional Authorized Services provided by the Consultant such as, but not limited to, wetlands permitting, land and right-of-way acquisition, surveying,

NPDES and LADEQ permit renewal or acquisition work, etc. Owner shall pay Consultant based on an agreed upon hourly rate(s) between the Owner and Consultant. Payment shall be not-to-exceed based on hourly rates and actual hours worked.

- 8.6 The following documentation shall be required for payment to Consultant and shall be attached to the monthly invoice.
- a. A copy of the Owner's written authorization to perform the service.
 - b. Timesheets for all hours invoiced.
 - c. Invoice copies, logs or other substantiation of non-salary expenses.
- 8.7 For Additional Authorized Services that Consultant acquires from subcontractors and/or subconsultants, Owner shall pay Consultant a fixed sum previously agreed upon by Owner and Consultant, such sum to be established in each case when the scope of the work involved has been determined and before any of the Additional Services are provided. The use of subcontractors and/or subconsultants shall be subject to the provisions set forth in this Agreement. The following documentation shall be required for payment to Consultant and shall be attached to the monthly invoice:
- a. A copy of the Owner's written consent for the subcontractor and/or subconsultant to perform the service stating the Owner's and Consultant's agreed upon fixed sum established for the service performed.
 - b. Evidence that the subcontractor and/or subconsultant is insured as required by this Agreement.
- 8.8 For Supplementary Services described in Section 5, Owner shall pay Consultant for the fee negotiated at the time the work is assigned by the method stipulated in the contract amendment.

9.0 BUDGET LIMITATIONS

The construction budget for this Project shall be determined by the Owner, and the Consultant shall be advised of the budget limitation in writing by the Owner and the Consultant shall indicate his acceptance of same in writing to the Owner. Any subsequent budget revisions shall be confirmed in writing.

If, at the completion of the Preliminary or Design Phase, the Consultant does not concur with the construction budget, he shall so notify the Owner, and the Consultant and Owner shall mutually agree on a revised construction budget prior to any work on the Design Phase.

If no bid is received within the budget limitation and a redesign of the project if required by the Owner, such redesign shall be accomplished by the Consultant at no additional cost to the Owner, provided, however, if the receipt of bids are, for any reason, delayed beyond

a period of six (6) months from the date of the completion of the Design Phase the amount stated as the construction budget shall be adjusted, immediately prior to the time bids are received, by use of a construction cost index acceptable to both parties of this agreement.

10.0 FUNDS

No work shall be authorized until funds are established for each individual task.

11.0 TERMINATION OR SUSPENSION

- 11.1 This Agreement may be terminated for any reason by either party upon thirty (30) days written notice.
- 11.2 The Consultant, upon receipt of such notice, shall immediately discontinue all services in connection with the performance of this Agreement and shall proceed to cancel promptly all existing orders and contracts insofar as such orders or contracts are chargeable to this Agreement.
- 11.3 The Consultant shall, as soon as practicable after receipt of notice of termination, submit a statement showing in detail the services performed and payments received under this Agreement to the date of termination.
- 11.4 The Owner shall then pay the Consultant promptly that portion of the prescribed fee to which both parties agree.
- 11.5 Consultant fully acknowledges that no payment will be made for any work performed or expenses incurred after receipt of the termination by either party unless mutually agreed upon in writing.
- 11.6 Failure to meet agreed delivery dates or authorized extensions are considered substantial failures and breach of this contractual agreement by Consultant.
- 11.7 This agreement shall automatically terminate upon satisfactory completion of all services and obligations described herein or three (3) years from the date of its execution, whichever event occurs first.

12.0 INSURANCE

- 12.1 The Consultant shall secure and maintain at his expense such insurance that will protect him and the Owner, from claims under Workmen's Compensation Acts and from claims for bodily injury, death or property damage which may arise from performance of services under this Agreement. Insurance for bodily injury or death shall be in the unencumbered amount of \$1,000,000.00 for one person and not less than \$1,000,000.00 for all injuries and/or deaths resulting from any one occurrence. The insurance for property damage shall be in the unencumbered amount of \$1,000,000.00 for each accident and not less than \$1,000,000.00 aggregate.

- 12.2 The CONSULTANT shall also secure and maintain at his expense professional liability insurance in the unencumbered sum of \$1,000,000.00.
- 12.3 All certificates of insurance SHALL BE FURNISHED TO THE OWNER and shall provide that insurance shall not be cancelled without ten (10) days prior written notice to the Owner. The Owner may examine the policies.
- 12.4 CONSULTANT shall include all subconsultants as insured under its policies or shall furnish separate certificates for each. All coverages for subconsultants shall be subject to all the requirements stated herein.
- 12.5 CONSULTANT shall secure and maintain at its expense Comprehensive Automobile Liability - Bodily Injury Liability \$1,000,000.00 each person: \$1,000,000.00 each occurrence. Property Damage Liability \$1,000,000.00 each occurrence. The Comprehensive Automobile Liability policy must have coverage for loading and unloading and must include owned, hired and leased autos.
- 12.6 St Charles Parish shall be named as an additional insured on general liability insurance policies.
- 12.7 For all purposes under Louisiana law, the principals of this Contract shall be recognized as the statutory employer of all contract employees as provided in LSA-R.S. 23:1061.
- 12.8 Insurance policies shall be endorsed to provide for a waiver of subrogation in favor of St. Charles Parish for worker's compensation policies. The certificate of insurance shall reference the waiver of subrogation endorsement.
- 12.9 The Worker's Compensation Policy Territory Coverage must include Louisiana.

13.0 INDEMNIFICATION

Consultant shall indemnify and hold harmless the Owner, its employees, agents and representatives, against any and all claims, demands, suits or judgments for sums of money to any party for loss of life or injury or damages to person or property growing out of, resulting from or by any reason of any negligent act by the Consultant, its employees, agents, servants or representatives, while engaged upon or in connection with the services required or performed hereunder.

14.0 WARRANTY

- 14.1 Consultant warrants that it will perform its design services with the degree of skill and to the standard of care required of the consulting profession to meet all Federal, State and Local requirements.

14.2 If Consulting Services for project designed by Consultant does not meet those requirements noted herein above, then to the extent that this occurs as a direct result of Consultant's failure to meet the standard of care in its design services, Consultant will indemnify the Parish for Consultant's share of the costs incurred to bring Consulting Services for project to the limitations mandated.

14.3 The obligations expressed in Section 14 above in no way limit the Consultant's obligations expressed elsewhere in this Contract.

15.0 EXCLUSIVE JURISDICTION AND VENUE

For all claims arising out of or related to this agreement, CONSULTANT hereby consents and yields to the exclusive jurisdiction and venue of the Twenty-Ninth Judicial District Court for the Parish of St. Charles, State of Louisiana, and expressly waives any (a) pleas of jurisdiction based upon Consultant's residence and (b) right of removal to Federal Court based upon diversity of citizenship.

16.0 COMPLIANCE WITH FEDERAL AND STATE LAWS

CONSULTANT further agrees to comply with all federal and state laws.

17.0 OTHER

This Agreement constitutes the entire agreement between the parties. There are no understandings, agreements, or representations, oral or written, not specified within this Agreement. This Agreement may not be modified, supplemented or amended in any manner, except by written agreement signed by both parties.

IN WITNESS WHEREOF, the parties to these presents have hereunto caused these presents to be executed the day, month and year first above mentioned.

WITNESSES:

ST. CHARLES PARISH

By: Matthew Jewell, Parish President

Date:

WITNESSES:

TRITON CONTROLS & ENGINEERING,
INC.

By: Steven P. Babin, President

Date:

ATTACHMENT "A"

WASTEWATER PLC UPGRADE

Project No. S240101

Project Scope:

The CONSULTANT shall complete the following services to accomplish an upgrade to the Programmable Logic Controllers (PLCs) at both the Hahnville and Destrehan Wastewater Treatment Plants:

- Field Review
- Equipment Bill of Material for each PLC
- PLC Program Conversion
- Post Conversion Line by Line Program Review
- In-House Hardware setup
- Post Conversion Testing
 - o Un-Witnessed PLC to HMI / PLC to PLC Communication Testing
 - o Up to 32 hours Witnessed PLC to HMI / PLC to PLC Communication Testing
- Up to 160 manhours of Installation Support
 - o Additional installation support over the allotted 160 hours will be provided on a T&M basis per the attached rate sheet labeled Attachment C-1.

Clarifications:

- Installation in the field by others
- Drawings not included
- HMI addressing to remain as-is.

Potential Future Scope:

- Aeration Basin program upgrades, as authorized by the Owner

ATTACHMENT “B”

**WASTEWATER PLC UPGRADE
Project No. S240101**

The CONSULTANT shall complete the following phases of the project within the number of days shown after Notices to Proceed:

	<u>Number of Days to Complete</u>
Hahnville Wastewater Treatment Plant	60
Destrehan Wastewater Treatment Plant	60

Time for Completion

1. If, through no fault of CONSULTANT, such periods of time or dates are changed, or the orderly and continuous progress of CONSULTANT’s services is impaired, or CONSULTANT’s services are delayed or suspended, then the time for completion of CONSULTANT’s services shall be adjusted equitably.
2. If OWNER authorizes changes in the scope, extent, or character of the Project or CONSULTANT’s services, then the time for completion of CONSULTANT’s services shall be adjusted equitably.
3. If CONSULTANT fails, through its own fault, to complete the performance required in this Agreement within the time set forth, as duly adjusted, then OWNER shall be entitled, as its sole remedy, to the recovery of direct damages, if any, resulting from such failure.

ATTACHMENT "C"

WASTEWATER PLC UPGRADE

Project No. S240101

OWNER shall pay CONSULTANT a Lump Sum amount of \$39,889.00 for the Work completed at the Destrehan Wastewater Treatment Plant and a Lump Sum amount of \$56,889.00 for the Work completed at the Hahnville Wastewater Treatment Plant.

- a. The Lump Sum includes compensation for CONSULTANT's services and services of CONSULTANT's SUBCONSULTANTS, if any. Appropriate amounts have been incorporated in the Lump Sum to account for labor costs, overhead, profit, expenses, and CONSULTANT charges.

OWNER shall pay CONSULTANT on a Not to Exceed basis, up to \$20,000.00, for installation support over the allotted 160-hours as described in Attachment A.

- a. The amounts billed for CONSULTANT's services under this Agreement will be based on the cumulative hours charged to the Project during the billing period by each class of CONSULTANT's employees times Standard Hourly Rates for each applicable billing class, plus CONSULTANT's SUBCONSULTANT's charges.
- b. The Standard Hourly Rates charged by CONSULTANT constitute full and complete compensation for CONSULTANT's services, including labor costs, overhead, and profit; the Standard Hourly Rates do not include CONSULTANT's SUBCONSULTANT's charges.
- c. CONSULTANT's Standard Hourly Rates are attached to this Agreement as Attachment C-1.

OWNER shall pay CONSULTANT on a Not to Exceed basis, up to \$40,000.00, for program upgrades at the aeration basins at both plants, if authorized by the Owner.



Rate Sheet 2024

(Expires 12/31/2022)

	<u>Regular</u>	<u>Overtime</u>
Offshore	\$165.00/hr	\$225.00/hr
Sr. Control Systems Engineer	\$125.00/hr	\$187.50/hr
Control Systems Engineer	\$110.00/hr	\$160.00/hr
Control Systems Technician	\$55.00/hr	\$75.00/hr

- Materials billed at cost plus 20% in addition to applicable sales tax. Shipping charges billed at cost.
- Per Diem for overnight stays is \$50.00 per day.
- Overtime is defined as time in excess of 8 hours per day or 40 hours per week. One week is defined as Saturday to Sunday.
- Minimum four (4) hours overtime shall be charged for Emergency Call-Outs.
- Minimum twelve (12) hours shall be charged for Offshore work.
- Services performed during weekends and holidays are charged at the overtime rate.
- Billing for Time & Material work is issued bi-weekly.
- Travel expenses (excluding mileage) are billed at cost.
- Mileage billed at IRS standard mileage rate portal-to-portal originating at 11851 Dunlay Lane., Baton Rouge, LA 70809.
- Travel time is billed portal-to-portal originating at 11851 Dunlay Lane., Baton Rouge, LA 70809.
- Standard Payment Terms – Net 30 Days (Pre-approval is required).



11851 Dunlay Ln
Baton Rouge, LA 70809

TRITONCONTROLS.COM

P 225.751.7161 | F 225.751.7164

February 05, 2024

To Whom It May Concern,

I, Steven P. Babin, President, and Sole Owner of Triton Controls & Engineering, Inc., a corporation organized under the laws of the state of Louisiana with its primary business at 11851 Dunlay Lane, Baton Rouge, Louisiana, 70809 have the authorization to make, execute, endorse, and deliver in the name of and on behalf of Triton Controls & Engineering, Inc. and shall not be limited to, any written instruments, agreements, documents, execution of deeds, powers of attorney, transfers, assignments, contracts, obligations, certificates and other instruments of whatever nature entered into by this Corporation.

Best regards,

Steven Babin

Steven P. Babin
President
Triton Controls & Engineering, Inc.

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Duplication of these documents in whole or in part without the express written consent of TRITON Controls & Engineering, Inc. is strictly prohibited. The design ideas conveyed in this proposal are considered to be the intellectual property of TRITON Controls & Engineering, Inc. Any reuse of these design ideas in whole or in part without the express written consent of TRITON Controls & Engineering, Inc. is strictly prohibited.



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0073 **Version:** 1 **Name:** Agreement between the Governor's Office of Homeland Security & Emergency Preparedness and St. Charles Parish for funding in the amount of \$848,758.00

Type: Resolution **Status:** In Council - Resolutions

File created: 2/19/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: A resolution approving and authorizing the execution of a Federally Funded Agreement between the Governor's Office of Homeland Security and Emergency Preparedness and St. Charles Parish for funding in the amount of \$848,758.00 to elevate five residential flood prone structures to prevent further damages and reduce NFIP claims.

Sponsors: Matthew Jewell, Grants Office

Indexes:

Code sections:

Attachments: [2024-0073 FMA-PJ-06-LA-2022-013 Swift Current St.Charles Parish Non-Disaster Subgrantee](#)

Date	Ver.	Action By	Action	Result
2/19/2024	1	Parish President	Introduced	

A Federally Funded Agreement
Between the
Governor's Office of Homeland Security and Emergency Preparedness
And
St. Charles Parish

1.1 Introduction

1.2 The Federal Emergency Management Agency ("Grantor") has made federal funds available to the State of Louisiana under the Flood Mitigation Assistance Program ("FMA"). CFD 97.029.

1.3 This Agreement addresses the use of those funds, and is between the Governor's Office of Homeland Security and Emergency Preparedness ("Recipient"), and St. Charles Parish ("Sub-Recipient").

2.1 Applicable Laws, Regulations and Policies

2.2 Federal

National Flood Insurance Act of 1968 Section 1366 (42 U.S.C. 4104c)

as amended by the National Flood Insurance Reform Act of 1994, Public Law 103—325

The Bunning –Bereuter-Blumenauer Flood Insurance Reform Act of 2004, Public Law 108-264

The Biggert-Waters Flood Insurance Reform Act of 2012, Public Law 112-141

31 United States Code Section 1352

2 Code of Federal Regulations 200 Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards

OMB Circular A-102 (Standard Form 424B (Rev. 7-97))

OMB Circular 110

2.3 State

Louisiana Homeland Security and Emergency Assistance and Disaster Act, La. R.S. 29:721 et seq.

La. R.S. 33:4773(D)

Louisiana Uniform Construction Code, La. R.S. 40:1721-39

Louisiana Public Bid Law, La. R.S. 38:2211 et seq.

Louisiana Procurement Code, La. R.S. 39:1551 et seq.

Louisiana Hazard Mitigation Strategy (4 volumes)

3.1 Concept of Agreement

3.2 In order to complete elevation/acquisition in St. Charles Parish, the Grantor has provided funds to Sub-Recipient through Recipient's FMA Grant Program. Sub-Recipient shall perform the necessary tasks, meet the required milestones, and stay within the FEMA approved scope of work, and budgetary parameters as outlined in the application for this project. (FMA-PJ-06-LA-2022-013)

3.3 The project application is incorporated into this Agreement as if copied in its entirety.

3.4 Additional responsibilities of Recipient and Sub-Recipient are as follows:

3.4.1 All applicable State and Federal laws, regulations and policies shall be adhered to during the execution of this project, and more specifically:

3.4.2 Any changes to the scope of work, or budget shall comply with 2 C.F.R. §200

3.4.3 Sub-Recipient shall comply with the limitations on the use of appropriated funds to influence certain Federal contracting or financial transactions as stated in 31 U.S.C §1352.

3.4.4 Sub-Recipient shall comply with all Assurances for Non-Construction Programs as outlined in Standard Form 424B, and prescribed by OMB Circular A-102.

3.4.5 Sub-Recipient shall cooperate at all times with Recipient, and act as the project manager agreeing to be accountable for all funds expended on this project.

3.4.6 Sub-Recipient agrees to meet all program, and administrative requirements as dictated by State and Federal laws, regulations and policies, and any other requirements deemed necessary by Recipient to carry out the intent of this Agreement, even if not specifically stated.

4.1 Summary of Statement of Work

4.2 Pursuant to FMA-PJ-06-LA-2022-013 Sub-Recipient shall perform the following tasks within the approved timeframes:

4.2.1 Elevation/Acquisition

5.1 Summary of Budget

5.2 Estimated costs per task:

5.2.1 For tasks 4.2.1	\$ 889,966.00
5.2.2 Total Project Cost	\$ 889,966.00

5.3 Funding Sources

5.3.1 Federal share	\$ 848,758.00
5.3.2 Non-Federal share	\$ 41,208.00

6.1 Liability of Parties

6.2 This Agreement is intended for the benefit of Grantor, Recipient and Sub-Recipient, and does not confer any rights upon third parties.

6.3 All rights by and between Grantor, Recipient, and Sub-Recipient are limited to the actions outlined in the applicable State and Federal laws, regulations, and policies.

6.4 Sub-Recipient hereby agrees to hold Recipient harmless from any actions or claims brought on behalf of any third parties who perform work and/or provide services on this project on behalf of Sub-Recipient.

7.1 Legal Authorization

Sub-Recipient hereby certifies that it has the legal authority to enter into this agreement and that it is authorized to receive the federal funds outlined herein.

8.1 Notice and Contact

8.2 All notices provided pursuant to this Agreement shall be in writing, and sent via first class certified mail return receipt requested.

8.3 The name and address of Recipient's contract manager for this agreement is:

Sandra Gaspard
Assistant Director, Hazard Mitigation Assistance Division
Governor's Office of Homeland Security and Emergency Preparedness
7667 Independence Boulevard
Baton Rouge, Louisiana 70806

The name and address of the designated agent responsible for the administration of this agreement on behalf of Sub-Recipient is:

Honorable Matthew Jewell
Parish President
St. Charles Parish
P.O. Box 302
Hahnville, LA 70057-5000

8.4 If the mailing address of Recipient or Sub-Recipient changes during the term of this agreement, or there is a change in the designated points of contact, the party with the address change, or change of contact shall immediately notify the other party in writing.

On behalf of their respective agencies, Recipient and Sub-Recipient have executed this agreement.

BY: _____
Jacques Thibodeaux
Director
GOVERNOR'S OFFICE OF HOMELAND
SECURITY AND EMERGENCY PREPAREDNESS

DATE: _____

BY: _____
Mr. Matthew Jewell
Parish President
ST.CHARLES PARISH

DATE: _____



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0074 **Version:** 1 **Name:** Agreement between the Governor's Office of Homeland Security and Emergency Preparedness and St. Charles Parish for funding in the amount of \$2,986,354.00

Type: Resolution **Status:** In Council - Resolutions

File created: 2/19/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: A resolution approving and authorizing the execution of a Federally Funded Agreement between the Governor's Office of Homeland Security and Emergency Preparedness and St. Charles Parish for funding in the amount of \$2,986,354.00 to elevate 16 residential flood prone structures to prevent further damages and reduce NFIP claims.

Sponsors: Matthew Jewell, Grants Office

Indexes:

Code sections:

Attachments: [2024-0074 FMA-PJ-06-LA-2022-010 St. Charles Parish Non-Disaster Subgrantee Agreement NOT](#)

Date	Ver.	Action By	Action	Result
2/19/2024	1	Parish President	Introduced	

A Federally Funded Agreement
Between the
Governor's Office of Homeland Security and Emergency Preparedness
And
St. Charles Parish

1.1 Introduction

1.2 The Federal Emergency Management Agency ("Grantor") has made federal funds available to the State of Louisiana under the Flood Mitigation Assistance Program ("FMA"). CFD 97.029.

1.3 This Agreement addresses the use of those funds, and is between the Governor's Office of Homeland Security and Emergency Preparedness ("Recipient"), and St. Charles Parish ("Sub-Recipient").

2.1 Applicable Laws, Regulations and Policies

2.2 Federal

National Flood Insurance Act of 1968 Section 1366 (42 U.S.C. 4104c)

as amended by the National Flood Insurance Reform Act of 1994, Public Law 103—325

The Bunning –Bereuter-Blumenauer Flood Insurance Reform Act of 2004, Public Law 108-264

The Biggert-Waters Flood Insurance Reform Act of 2012, Public Law 112-141

31 United States Code Section 1352

2 Code of Federal Regulations 200 Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards

OMB Circular A-102 (Standard Form 424B (Rev. 7-97))

OMB Circular 110

2.3 State

Louisiana Homeland Security and Emergency Assistance and Disaster Act, La. R.S. 29:721 et seq.

La. R.S. 33:4773(D)

Louisiana Uniform Construction Code, La. R.S. 40:1721-39

Louisiana Public Bid Law, La. R.S. 38:2211 et seq.

Louisiana Procurement Code, La. R.S. 39:1551 et seq.

Louisiana Hazard Mitigation Strategy (4 volumes)

3.1 Concept of Agreement

3.2 In order to complete elevation/acquisition in St. Charles Parish, the Grantor has provided funds to Sub-Recipient through Recipient's FMA Grant Program. Sub-Recipient shall perform the necessary tasks, meet the required milestones, and stay within the FEMA approved scope of work, and budgetary parameters as outlined in the application for this project. (FMA-PJ-06-LA-2022-0010)

3.3 The project application is incorporated into this Agreement as if copied in its entirety.

3.4 Additional responsibilities of Recipient and Sub-Recipient are as follows:

3.4.1 All applicable State and Federal laws, regulations and policies shall be adhered to during the execution of this project, and more specifically:

3.4.2 Any changes to the scope of work, or budget shall comply with 2 C.F.R. §200

3.4.3 Sub-Recipient shall comply with the limitations on the use of appropriated funds to influence certain Federal contracting or financial transactions as stated in 31 U.S.C §1352.

3.4.4 Sub-Recipient shall comply with all Assurances for Non-Construction Programs as outlined in Standard Form 424B, and prescribed by OMB Circular A-102.

3.4.5 Sub-Recipient shall cooperate at all times with Recipient, and act as the project manager agreeing to be accountable for all funds expended on this project.

3.4.6 Sub-Recipient agrees to meet all program, and administrative requirements as dictated by State and Federal laws, regulations and policies, and any other requirements deemed necessary by Recipient to carry out the intent of this Agreement, even if not specifically stated.

4.1 Summary of Statement of Work

4.2 Pursuant to FMA-PJ-06-LA-2022-010 Sub-Recipient shall perform the following tasks within the approved timeframes:

4.2.1 Elevation/Acquisition

5.1 Summary of Budget

5.2 Estimated costs per task:

5.2.1 For tasks 4.2.1	\$ 2,986,354.00
5.2.2 Total Project Cost	\$ 2,986,354.00

5.3 Funding Sources

5.3.1 Federal share	\$ 2,986,354.00
5.3.2 Non-Federal share	\$ 0.00

6.1 Liability of Parties

6.2 This Agreement is intended for the benefit of Grantor, Recipient and Sub-Recipient, and does not confer any rights upon third parties.

6.3 All rights by and between Grantor, Recipient, and Sub-Recipient are limited to the actions outlined in the applicable State and Federal laws, regulations, and policies.

6.4 Sub-Recipient hereby agrees to hold Recipient harmless from any actions or claims brought on behalf of any third parties who perform work and/or provide services on this project on behalf of Sub-Recipient.

7.1 Legal Authorization

Sub-Recipient hereby certifies that it has the legal authority to enter into this agreement and that it is authorized to receive the federal funds outlined herein.

8.1 Notice and Contact

8.2 All notices provided pursuant to this Agreement shall be in writing, and sent via first class certified mail return receipt requested.

8.3 The name and address of Recipient's contract manager for this agreement is:

Sandra Gaspard
Assistant Director, Hazard Mitigation Assistance Division
Governor's Office of Homeland Security and Emergency Preparedness
7667 Independence Boulevard
Baton Rouge, Louisiana 70806

The name and address of the designated agent responsible for the administration of this agreement on behalf of Sub-Recipient is:

Honorable Matthew Jewell
Parish President
St. Charles Parish
P.O. Box 302
Hahnville, LA 70057-5000

8.4 If the mailing address of Recipient or Sub-Recipient changes during the term of this agreement, or there is a change in the designated points of contact, the party with the address change, or change of contact shall immediately notify the other party in writing.

On behalf of their respective agencies, Recipient and Sub-Recipient have executed this agreement.

BY: _____
Jacques Thibodeaux
Director
GOVERNOR'S OFFICE OF HOMELAND
SECURITY AND EMERGENCY PREPAREDNESS

DATE: _____

BY: _____
Mr. Matthew Jewell
Parish President
ST.CHARLES PARISH

DATE: _____



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0075 **Version:** 1 **Name:** Agreement between the Governor's Office of Homeland Security and Emergency Preparedness and St. Charles Parish for funding in the amount of \$578,597.00

Type: Resolution **Status:** In Council - Resolutions

File created: 2/19/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: A resolution approving and authorizing the execution of a Federally Funded Agreement between the Governor's Office of Homeland Security and Emergency Preparedness and St. Charles Parish for funding in the amount of \$578,597.00 to elevate four residential flood prone structures to prevent further damages and reduce NFIP claims.

Sponsors: Matthew Jewell, Grants Office

Indexes:

Code sections:

Attachments: [2024-0075 FMA-PJ-06-LA-2022-014 Swift Current St.Charles Parish Non-Disaster Subgrantee](#)

Date	Ver.	Action By	Action	Result
2/19/2024	1	Parish President	Introduced	

A Federally Funded Agreement
Between the
Governor's Office of Homeland Security and Emergency Preparedness
And
St. Charles Parish

1.1 Introduction

1.2 The Federal Emergency Management Agency ("Grantor") has made federal funds available to the State of Louisiana under the Flood Mitigation Assistance Program ("FMA"). CFD 97.029.

1.3 This Agreement addresses the use of those funds, and is between the Governor's Office of Homeland Security and Emergency Preparedness ("Recipient"), and St. Charles Parish ("Sub-Recipient").

2.1 Applicable Laws, Regulations and Policies

2.2 Federal

National Flood Insurance Act of 1968 Section 1366 (42 U.S.C. 4104c)

as amended by the National Flood Insurance Reform Act of 1994, Public Law 103—325

The Bunning –Bereuter-Blumenauer Flood Insurance Reform Act of 2004, Public Law 108-264

The Biggert-Waters Flood Insurance Reform Act of 2012, Public Law 112-141

31 United States Code Section 1352

2 Code of Federal Regulations 200 Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards

OMB Circular A-102 (Standard Form 424B (Rev. 7-97))

OMB Circular 110

2.3 State

Louisiana Homeland Security and Emergency Assistance and Disaster Act, La. R.S. 29:721 et seq.

La. R.S. 33:4773(D)

Louisiana Uniform Construction Code, La. R.S. 40:1721-39

Louisiana Public Bid Law, La. R.S. 38:2211 et seq.

Louisiana Procurement Code, La. R.S. 39:1551 et seq.

Louisiana Hazard Mitigation Strategy (4 volumes)

3.1 Concept of Agreement

3.2 In order to complete elevation/acquisition in St. Charles Parish, the Grantor has provided funds to Sub-Recipient through Recipient's FMA Grant Program. Sub-Recipient shall perform the necessary tasks, meet the required milestones, and stay within the FEMA approved scope of work, and budgetary parameters as outlined in the application for this project. (FMA-PJ-06-LA-2022-014)

3.3 The project application is incorporated into this Agreement as if copied in its entirety.

3.4 Additional responsibilities of Recipient and Sub-Recipient are as follows:

3.4.1 All applicable State and Federal laws, regulations and policies shall be adhered to during the execution of this project, and more specifically:

3.4.2 Any changes to the scope of work, or budget shall comply with 2 C.F.R. §200

3.4.3 Sub-Recipient shall comply with the limitations on the use of appropriated funds to influence certain Federal contracting or financial transactions as stated in 31 U.S.C §1352.

3.4.4 Sub-Recipient shall comply with all Assurances for Non-Construction Programs as outlined in Standard Form 424B, and prescribed by OMB Circular A-102.

3.4.5 Sub-Recipient shall cooperate at all times with Recipient, and act as the project manager agreeing to be accountable for all funds expended on this project.

3.4.6 Sub-Recipient agrees to meet all program, and administrative requirements as dictated by State and Federal laws, regulations and policies, and any other requirements deemed necessary by Recipient to carry out the intent of this Agreement, even if not specifically stated.

4.1 Summary of Statement of Work

4.2 Pursuant to FMA-PJ-06-LA-2022-014 Sub-Recipient shall perform the following tasks within the approved timeframes:

4.2.1 Elevation/Acquisition

5.1 Summary of Budget

5.2 Estimated costs per task:

5.2.1 For tasks 4.2.1	\$ 598,280.00
5.2.2 Total Project Cost	\$ 598,280.00

5.3 Funding Sources

5.3.1 Federal share	\$ 578,597.00
5.3.2 Non-Federal share	\$ 19,683.00

6.1 Liability of Parties

6.2 This Agreement is intended for the benefit of Grantor, Recipient and Sub-Recipient, and does not confer any rights upon third parties.

6.3 All rights by and between Grantor, Recipient, and Sub-Recipient are limited to the actions outlined in the applicable State and Federal laws, regulations, and policies.

6.4 Sub-Recipient hereby agrees to hold Recipient harmless from any actions or claims brought on behalf of any third parties who perform work and/or provide services on this project on behalf of Sub-Recipient.

7.1 Legal Authorization

Sub-Recipient hereby certifies that it has the legal authority to enter into this agreement and that it is authorized to receive the federal funds outlined herein.

8.1 Notice and Contact

8.2 All notices provided pursuant to this Agreement shall be in writing, and sent via first class certified mail return receipt requested.

8.3 The name and address of Recipient's contract manager for this agreement is:

Sandra Gaspard
Assistant Director, Hazard Mitigation Assistance Division
Governor's Office of Homeland Security and Emergency Preparedness
7667 Independence Boulevard
Baton Rouge, Louisiana 70806

The name and address of the designated agent responsible for the administration of this agreement on behalf of Sub-Recipient is:

Honorable Matthew Jewell
Parish President
St. Charles Parish
P.O. Box 302
Hahnville, LA 70057-5000

8.4 If the mailing address of Recipient or Sub-Recipient changes during the term of this agreement, or there is a change in the designated points of contact, the party with the address change, or change of contact shall immediately notify the other party in writing.

On behalf of their respective agencies, Recipient and Sub-Recipient have executed this agreement.

BY: _____
Jacques Thibodeaux
Director
GOVERNOR'S OFFICE OF HOMELAND
SECURITY AND EMERGENCY PREPAREDNESS

DATE: _____

BY: _____
Mr. Matthew Jewell
Parish President
ST.CHARLES PARISH

DATE: _____



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0076 **Version:** 1 **Name:** Authorize the Parish President to execute agreements and documents pertaining to the Restore Louisiana Infrastructure: FEMA Public Assistance Non-Federal Share Match Program

Type: Resolution **Status:** In Council - Resolutions

File created: 2/19/2024 **In control:** Parish Council

On agenda: 2/19/2024 **Final action:**

Enactment date: **Yes**

Title: A resolution authorizing the Parish President to execute agreements and documents pertaining to the Restore Louisiana Infrastructure: FEMA Public Assistance Non-Federal Share Match Program.

Sponsors: Matthew Jewell, Grants Office

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
2/19/2024	1	Parish President	Introduced	



St. Charles Parish

St. Charles Parish
Courthouse
15045 Highway 18
P.O. Box 302
Hahnville, LA 70057
985-783-5000
www.stcharlesparish.gov

Legislation Details

File #: 2024-0071 **Version:** 1 **Name:** Appoint a member to the St. Charles Parish Library Board of Control as the District V Representative
Type: Appointment **Status:** In Council - Appointments
File created: 2/19/2024 **In control:** Parish Council
On agenda: 2/19/2024 **Final action:**
Enactment date: **Yes**

Title: A resolution appointing a member to the St. Charles Parish Library Board of Control as the District V Representative.

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
3/25/2019	1	Parish Council	Enacted Legislation	